

GENERAL LEGEND

EXISTING SPOT ELEVATIONS	x 582.50
PROPOSED SPOT ELEVATIONS	x 82.5
EXISTING CONTOURS	--- 582 ---
PROPOSED CONTOURS	--- 82 ---
DIRECTION OF FLOW	→
EXISTING	EXIST. ---
5/8" REBAR W/ CAP (UNLESS OTHERWISE STATED)	○ OR •
CONCRETE MONUMENT SET (WITH NUMBER)	□ #1
PROPERTY LINE	---
LOT NUMBER	102
FIRE HYDRANT	F.H. Ⓜ
WATERLINE	— W —
SANITARY SEWER MANHOLE	MH •
SANITARY SEWER	— S —
DEED BOOK	D.B.
PAGE	PG.
PARCEL	P.
MINIMUM BUILDING SETBACK LINE	M.B.S.L.
SQUARE FEET	SQ. FT.
TOTAL	(T.)
PART OF	P/O
NUMBER	NO.
STREET SIGN	⊥
STOP SIGN	⊥

SITE DATA

TOTAL PROPERTY AREA	49.4212 ACRES
TOTAL LOT AREA	24.4039 ACRES
TOTAL ROAD AREA	7.3165 ACRES
TOTAL SWM AREA	2.5432 ACRES
TOTAL OPEN SPACE AREA	1.7233 ACRES
TOTAL DEDICATED R.O.W.	0.2442 ACRES
REMAINING LANDS	13.1901 ACRES
TOTAL IMPERVIOUS AREA	12.37 ACRES OR 39% OF LOTS AND ROADS
TOTAL DISTURBED AREA	33.76 ACRES OR 68% OF PARCEL
NUMBER OF LOTS	115
FUNCTIONAL DESCRIPTION	SINGLE FAMILY RESIDENTIAL
UNITS PER ACRE	3.17
SEWER & WATER	PUBLIC
SOLID WASTE DISPOSAL	INDIVIDUAL COLLECTION
MINIMUM BUILDING SETBACK LINES (M.B.S.L.)	
FRONT - 50' FROM WV ROUTE 13 (A.K.A. DRY RUN ROAD) R.O.W. LINE, (CORNER LOTS HAVE 50' ON WV ROUTE 13 & 20' ON INTERNAL STREETS).	
FRONT, INTERNAL STREETS - 20' FROM THE FRONT R.O.W. LINE, (CORNER LOTS HAVE 20' M.B.S.L. ON BOTH STREETS)	
SIDES - 10' EACH SIDE	
REAR - 20'	
MINIMUM LOT SIZE ALLOWED: 7,500 S.F. OR 0.1722 ACRES	
MINIMUM LOT WIDTH ALLOWED: 60'	

CONSTRUCTION CERTIFICATION

I/WE, TRINITY HOMES W. VA. LLC, DO HEREBY CERTIFY THAT:

- ALL CLEARING, GRADING, DRAINAGE, CONSTRUCTION, AND DEVELOPMENT SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH THE APPROVED PLAN.
- STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS FOR THESE FACILITIES.
- THE INSTALLATION AND MAINTENANCE OF SEDIMENT CONTROL MEASURES SHALL BE IN STRICT ACCORDANCE WITH THE APPROVED PLAN AND SEQUENCE OF CONSTRUCTION; THAT A COPY OF THE APPROVED PLAN SHALL BE AVAILABLE ON SITE AT ALL TIMES, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION SHALL BE MADE AWARE OF THESE REQUIREMENTS.
- THE BERKELEY COUNTY ENGINEERING DEPARTMENT RESERVES THE RIGHT TO ADD TO OR MODIFY THE PROVISIONS SHOWN ON THE PLAN SHOULD ACTUAL FIELD CONDITIONS WARRANT SUCH CHANGES.
- THE PLAN OF SUBDIVISION WILL BE IN ACCORDANCE WITH THE APPROVED PLANS AND OPEN SPACE/CONSERVATION AREAS WILL REMAIN UNDISTURBED AS APPROVED BY THE BERKELEY COUNTY PLANNING COMMISSION.

TRINITY HOMES W. VA. LLC _____ DATE _____

AS-BUILT CERTIFICATION

I/WE _____ DO HEREBY CERTIFY THAT:

- ALL DRAINAGE AND STORMWATER MANAGEMENT FACILITIES SHOWN HEREON HAVE BEEN CONSTRUCTED ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS.
- ALL STREETS, UTILITIES AND OTHER PERTINENT FEATURES SHOWN HEREON HAVE BEEN CONSTRUCTED ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS.
- THE INFORMATION SHOWN HEREON IS INDICATIVE OF AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION.

ENGINEER/SURVEYOR _____ DATE _____

GENERAL CONSTRUCTION NOTES

THE CONTRACTOR SHALL HAVE:

- A CURRENT WV CONTRACTORS LICENSE, TO BE DISPLAYED ON SITE.
- CURRENT APPROVED CONSTRUCTION DOCUMENTS ON SITE.
- ALL APPLICABLE PERMITS AVAILABLE ON SITE DURING CONSTRUCTION.

ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE WVDOT SPECIFICATION BOOK, THE WV EROSION AND SEDIMENT CONTROL HANDBOOK, AND ANY APPLICABLE SPECIFICATIONS UNDER WHICH A PUBLIC ENTITY HAS JURISDICTION.

OWNER'S CERTIFICATION

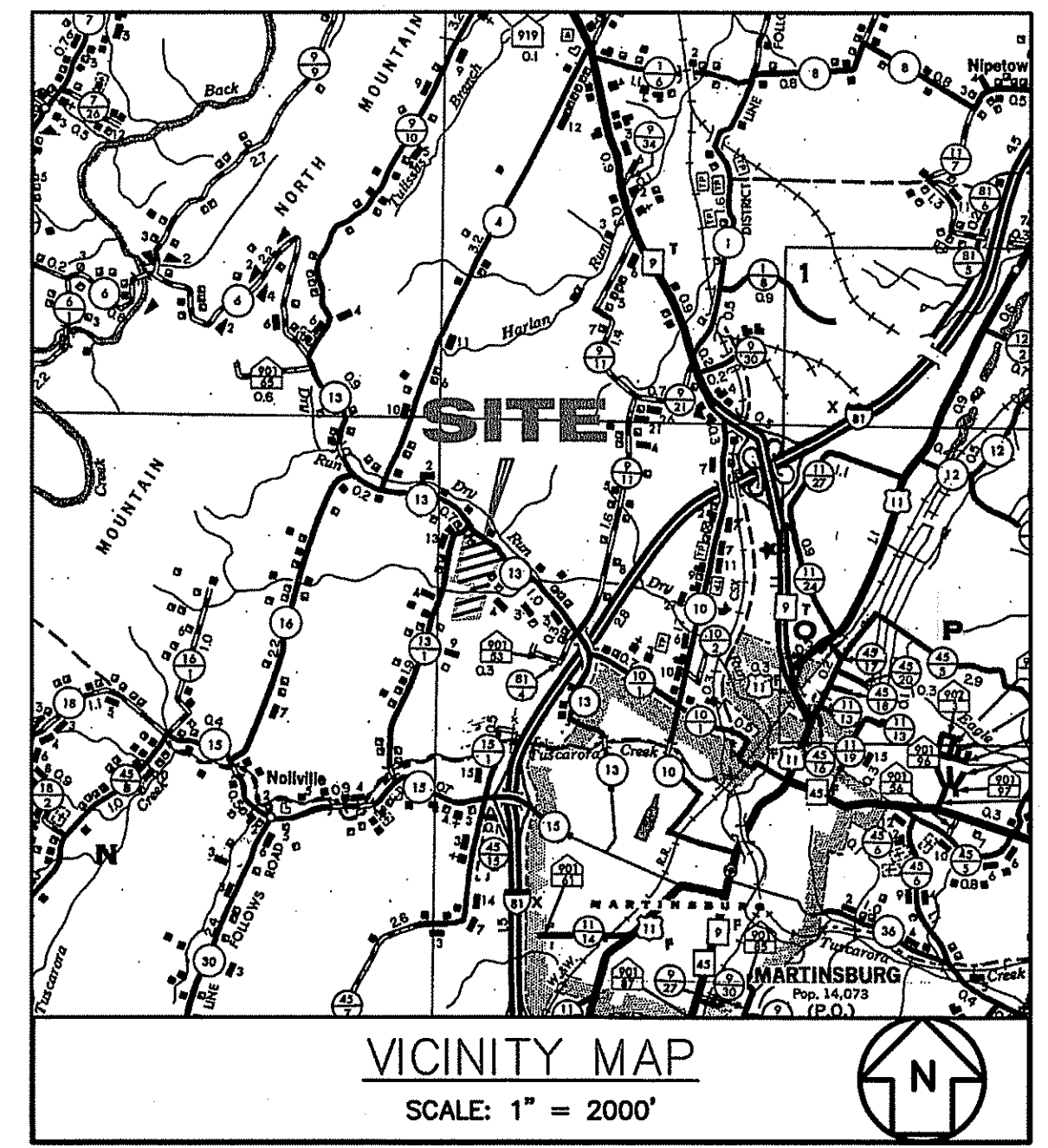
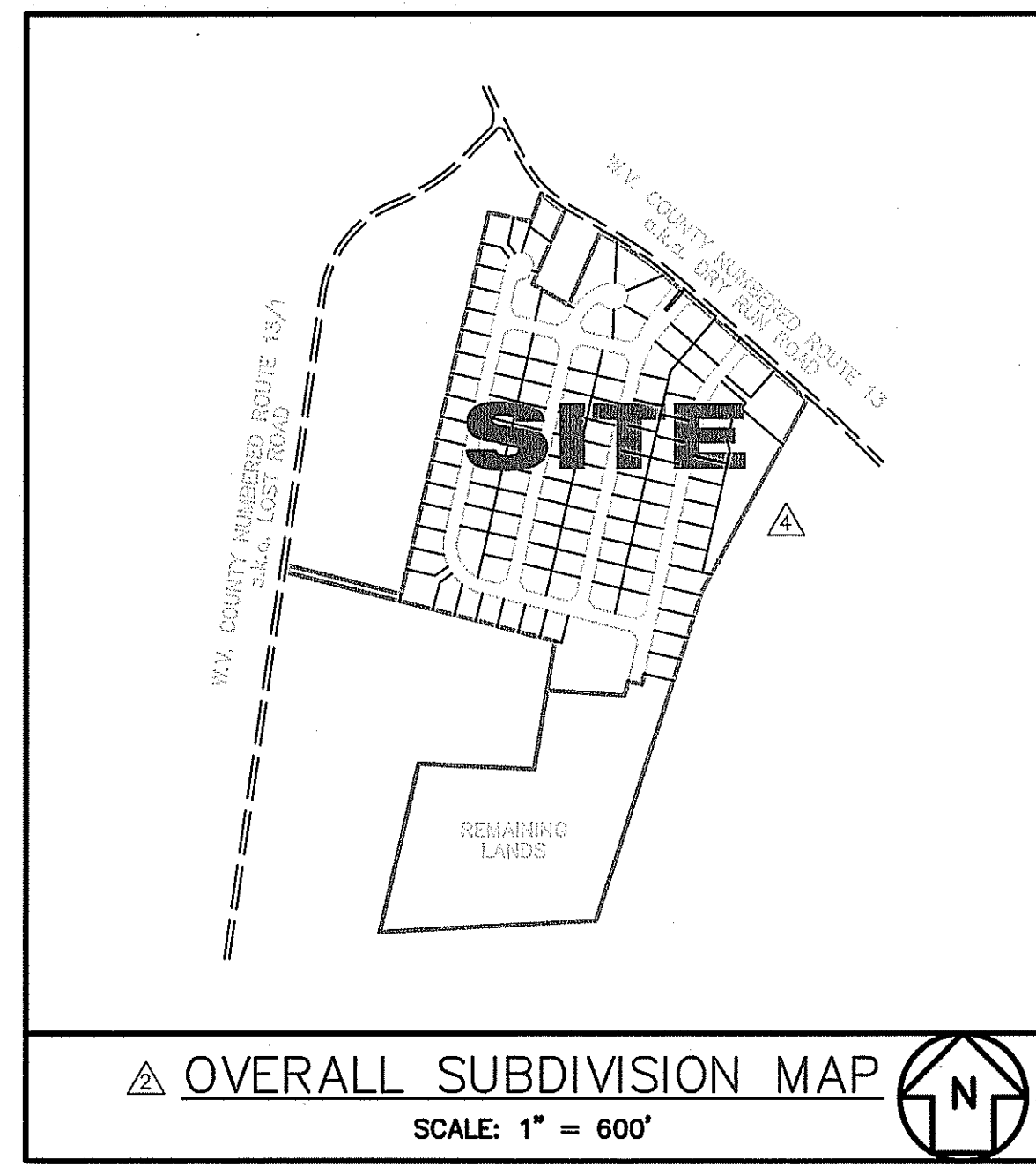
I, _____ OWNER OF PROPERTY SHOWN HEREON AND DESCRIBED IN SURVEYOR'S CERTIFICATE, HEREBY ADOPT THIS PLAN OF SUBDIVISION; ESTABLISH MINIMUM BUILDING SETBACK LINES (M.B.S.L.); AND DEDICATE THE STREETS, ALLEYS, WALKS, TRAILS, PARKS AND OPEN SPACE TO PUBLIC USE.

THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUSTS, EASEMENTS OR RIGHTS-OF-WAY AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN HEREON AND ALL PARTIES IN INTEREST THERETO HAVE HERELAND AFFIRMED THEIR SIGNATURES INDICATING THEIR ASSENT TO THIS PLAN OF SUBDIVISION.

OWNER'S SIGNATURE _____ DATE _____ WITNESS _____

PRELIMINARY PLAT FOR SUNDANCE VALLEY SINGLE FAMILY HOMES BERKELEY COUNTY, WEST VIRGINIA

TYPE	MIN. LOT AREA	MIN. LOT WIDTH	MIN. LOT DEPTH	NUMBER OF LOTS
SINGLE FAMILY	7,867 S.F.	76.67'	100'	115



PREPARED FOR:
OWNER / DEVELOPER

TRINITY HOMES W. VA. LLC
3675 PARK AVENUE, SUITE 301
ELLCOTT CITY, MARYLAND 21043
PHONE: (410) 480-0023

OWNERSHIP DATA:
DEED BOOK 814, PAGE 112
PLAT CABINET 11, SLIDE 168

- GENERAL NOTES**
- EXISTING CONTOURS SHOWN HEREON ARE FROM 2005 AERIAL PHOTOGRAMMETRY FURNISHED BY THE OWNER, BASED ON A FIELD SURVEY BY DAVIS, RENN & ASSOCIATES, INC. CONDUCTED IN OCTOBER 2005. NORTH TO AGREE WITH PLAT IN PLAT CABINET 6, SLIDE 170.
 - PROPERTY LINES SHOWN HEREON ARE BASED ON A SURVEY BY DAVIS, RENN & ASSOCIATES, INC. CONDUCTED IN OCTOBER 2005.
 - ALL DEVELOPMENT SHALL BE DONE IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS FOR BERKELEY COUNTY, WEST VIRGINIA.
 - WATER SERVICE IS TO BE SUPPLIED BY THE BERKELEY COUNTY PUBLIC SERVICE WATER DISTRICT.
 - ALL WATERLINE CONSTRUCTION SHALL CONFORM TO THE BERKELEY COUNTY PUBLIC SERVICE WATER DISTRICT'S STANDARDS AND SPECIFICATIONS, LATEST EDITION. SEE SEPARATE APPROVED PLANS ON WATERLINE CONSTRUCTION.
 - SANITARY SEWER SERVICE IS TO BE SUPPLIED BY THE BERKELEY COUNTY PUBLIC SERVICE SEWER DISTRICT.
 - ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO BERKELEY COUNTY PUBLIC SERVICE SEWER DISTRICT'S STANDARDS AND SPECIFICATIONS, LATEST EDITION.
 - THE INDIVIDUAL GRINDER PUMPS SHALL BECOME THE PROPERTY OF THE HOMEOWNER. THE BERKELEY COUNTY PUBLIC SERVICE SEWER DISTRICT WILL ACCEPT RESPONSIBILITY FOR THE FORCE MAIN STARTING AT THE PROPERTY LINE.
 - ALL WATERLINE AND SANITARY SEWER CONSTRUCTION SHALL BE DONE IN STRICT ACCORDANCE WITH THE STATE OF WEST VIRGINIA CHAPTER 16-1 SERIES VII REGULATIONS ENTITLED "SEWAGE TREATMENT AND COLLECTION SYSTEMS DESIGN STANDARDS" EFFECTIVE DECEMBER 1, 1983.
 - ALL ROADWAY CONSTRUCTION SHALL CONFORM TO THE BERKELEY COUNTY ENGINEERING DEPARTMENT'S STANDARDS AND SPECIFICATIONS, LATEST EDITION.
 - PART OF THIS SITE IS COVERED BY ZONE "A" 100 YEAR FLOOD PLAIN PER FEMA F.I.R.M. COMMUNITY PANEL NO. 540282 0076C AND NO. 540282 0038C, DATED NOVEMBER 20, 1998 AS SHOWN HEREON. THE REMAINDER OF THE PROPERTY IS COVERED BY ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.
 - THERE ARE NO KNOWN SNIKHOLES, ROCK OUTCROPPINGS, WETLANDS, WATER COURSES, TREE GROVES, SWAMPS, OTHER NATURAL FEATURES, SCENIC AREAS, HISTORIC AREAS OR GRAVEYARDS WITHIN THE DISTURBED AREA OF THIS SITE, EXCEPT AS SHOWN HEREON.
 - THERE ARE NO PUBLIC IMPROVEMENTS ON THIS SITE OR ON ADJACENT LANDS EXCEPT W.V. COUNTY NUMBERED ROUTE 13 (A.K.A. DRY RUN ROAD) ROAD IMPROVEMENTS, EXTENSION OF PUBLIC SANITARY SEWER LINES AND EXTENSION OF STORM DRAIN PIPES UNDER SAID ROAD ROAD, AS SHOWN HEREON.
 - A 10' WIDE DRAINAGE AND UTILITY EASEMENT IS HEREBY RESERVED ALONG THE PROPERTY LINES OF EACH LOT.
 - A 10' WIDE STRIP IS HEREBY DEDICATED TO THE W.V. D.O.H. FOR ROAD WIDENING OF W.V. COUNTY NUMBERED ROUTE 13 (A.K.A. DRY RUN ROAD) FROM 15' OFF CENTERLINE TO 25' OFF CENTERLINE OF SAID ROAD ALONG THE LENGTH OF THIS PROPERTY.
 - NO SIDEWALKS OR STREET LIGHTS ARE PLANNED AT THIS TIME.
 - SEE SHEET 32 FOR DRIVEWAY CULVERT TABLE.
 - PROPOSED ROADS: CLASS 1 - 60' R.O.W. - 22' PAVEMENT - 6' SHOULDER
CLASS 2 - 50' R.O.W. - 20' PAVEMENT - 5' SHOULDER
CLASS 3 - 50' R.O.W. - 18' PAVEMENT - 4' SHOULDER
 - WEST VIRGINIA ROAD R.O.W. INFORMATION OBTAINED FROM THE W.V. DEPT. OF TRANSPORTATION, DIVISION OF HIGHWAYS OFFICE IN BURLINGTON, WV.
 - UNLESS OTHERWISE STATED, ALL PROPERTY CORNERS ARE 5/8" REBAR WITH CAP (TO BE SET).
 - THERE ARE NO KNOWN WATER WELLS OR SANITARY RESERVE AREAS WITHIN 100' OF THIS PARCEL THAT IS BEING DISTURBED.
 - NO ON STREET OR PUBLIC PARKING FACILITIES ARE PROVIDED. ALL PARKING FACILITIES SHALL BE LOCATED WITHIN GARAGES AND DRIVEWAYS OF THE PROPOSED LOTS.
 - THE ANTICIPATED WATER PRESSURE AT THE PROPOSED FIRE HYDRANT ALONG SLIPPERY ROCK DRIVE NEAR LOT 50 IS 89.8 P.S.I. STATIC, 45.8 P.S.I. RESIDUAL AT 564 G.P.M. FLOW RATE.
 - ANY AND ALL BUILDING IMPROVEMENTS (DECKS, PORCHES, BAY WINDOWS, BUMP-OUTS, FIREPLACES, SUNROOMS, ROOF EAVES, ETC.) MUST BE CONSTRUCTED WITHIN THE MINIMUM BUILDING SETBACK LINES (M.B.S.L.).

SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	NOTES
3	EXISTING CONDITIONS
4	OVERALL LAYOUT & INDEX SHEET
5, 6 & 7	PRELIMINARY PLAT
8 & 9	GRADING PLAN
10 & 11	FINAL LOT GRADING PLAN
12 & 13	UTILITY PLAN
14	SLIPPERY ROCK LANE - PLAN & PROFILE
15	CRADLE ROCK LANE - PLAN & PROFILE
16	CABERNET DRIVE - PLAN & PROFILE
17	PINOT NOIR LANE - PLAN & PROFILE
18 & 19	SOLSTICE DRIVE - PLAN & PROFILE
20	SANITARY SEWER - PLAN & PROFILE
21	STORM SEWER - PROFILE
22 & 23	SOIL EROSION & SEDIMENT CONTROL PLAN
24 & 25	SOIL EROSION & SEDIMENT CONTROL DETAILS
26, 27, 28 & 29	STORMWATER MANAGEMENT DETAILS
30 & 31	SANITARY SEWER DETAILS
32	STORM SEWER/ROADWAY DETAILS
33	ROADWAY/SITE DETAILS
34	ENTRANCE PLAN

DRAWINGS\COVER.dwg

NO.	REVISION	BY	DATE	APP'D	SCALE	AS SHOWN
9	REVISED PER B.C.P.C. COMMENTS		C.A.S. 06/17/08			
8	REVISED PER IN-HOUSE REVIEW		C.A.S. 05/14/08			
7	REVISED PER B.C.P.S.S.D. COMMENTS		C.A.S. 03/25/08			
6	REVISED PER B.C.P.S.S.D. COMMENTS		C.A.S. 05/18/07			
5	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08			

DRAWN BY	C.A.S.
DATE	03/01/07
CHECKED BY	S.C.C.
DATE	03/01/07
APPROVED BY	M.E.R.
DATE	03/01/07

DAVIS, RENN & ASSOCIATES, INC.

ENGINEERS ARCHITECTS PLANNERS SURVEYORS

P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
TELEPHONE 301-739-5660

COVER SHEET
FOR
SUNDANCE VALLEY

B.C.P.C. FILE NO. 030-06

SHEET NO.	1 of 34
PROJECT NO.	051024
FILE NO.	B-1724

TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

F:\18\0925 Sundance Valley\Correspondence\Email in 2018-10-27 plan\DRAWINGS\01 COVER.dwg, 10/29/2018 12:28 PM

SEDIMENT AND EROSION CONTROL NOTES

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."
- ALL DISTURBED AREAS TO BE SEEDDED WITHIN 7 DAYS OF INITIAL GRADING. FOR TEMPORARY SEEDING SPECIFICATIONS, SEE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AT THE INITIATION OF GRADING.
- ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDDED WITHIN 7 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- ELECTRIC POWER, TELEPHONE AND GAS LINES ARE TO BE COMPACTED, SEEDDED AND MULCHED WITHIN 7 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- ALL EARTH BERMS AND SEDIMENT DAMS ARE TO BE SEEDDED AND MULCHED IMMEDIATELY AFTER CONSTRUCTION. ALL SOIL STOCKPILES ARE TO BE MULCHED AND SEEDDED WITH 7 DAYS.
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SOIL STABILIZATION MATTING INSTALLED UP TO THE DESIGN FLOW DEPTH. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- DURING CONSTRUCTION, ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED AFTER EACH RAINFALL AND REPAIRED IF NECESSARY. SEDIMENT TO BE REMOVED TO A SUITABLE DISPOSAL AREA AND STABILIZED WITH PERMANENT VEGETATIVE COVER.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL DISTURBED AREAS ARE STABILIZED.
- AFTER FINE GRADING, ALL DISTURBED AREAS ARE TO BE PERMANENTLY SEEDDED AND MULCHED.
- NO SLOPE SHALL BE GREATER THAN 2:1.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THIS DOES NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO INSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."
- FILL SHALL BE COMPACTED TO PREVENT EROSION.
- ALL SOLID WASTE GENERATED BY THIS PROJECT SHALL BE DISPOSED OF AT AN APPROPRIATE OFFSITE LOCATION.

PERMANENT SEEDING AND SOD NOTES

- SCOPE: PLANTING PERMANENT, LONG-LIVED VEGETATIVE COVER ON GRADED OR CLEARED AREAS.
- STANDARDS: PERMANENT SEEDING SHALL CONFORM TO ALL REQUIREMENTS OF THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."

- SOIL AMENDMENTS:
 - FOR SITES OF 5 ACRES OR UNDER, APPLY 90 LBS./AC. (2.0 LBS. ACTUAL NITROGEN/1000 SQ. FT.) AND 175 LBS./AC. (4 LBS. ACTUAL P205 AND K2O/1000 SQ. FT.). A SLOW RELEASE UREAFORM FERTILIZER (46-0-0) MAY BE APPLIED TO AREAS RECEIVING LOW MAINTENANCE TO PROVIDE NITROGEN OVER A LONGER PERIOD OF TIME. FOR THIS TREATMENT, APPLY 150 LBS./AC. (3.5 LBS./1000 SQ. FT.) OF A UREAFORM FERTILIZER IN ADDITION TO THE ABOVE FERTILIZER APPLICATION AT TIME OF SEEDING.
 - LIME SHALL BE APPLIED AT A RATE OF 2 TONS/AC. (100 LBS./1000 SQ. FT.).
 - INCORPORATE LIME AND FERTILIZER INTO THE TOP 3-5 INCHES OF SOIL.
 - SITES HAVING A DISTURBED AREA OVER 5 ACRES SHALL HAVE SOIL TESTS PERFORMED TO DETERMINE RATE.
- SEEDBED PREPARATION:
 - SOIL SHALL BE LOOSENEED TO A DEPTH OF 3-5 INCHES BY RAKING, DISCING, OR OTHER ACCEPTABLE MEANS PRIOR TO SEEDING.
- SEEDING:
 - USE THE MIXTURE SPECIFIED ON THE PERMANENT SEEDING SUMMARY.
 - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER, OR HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER ON A FIRM, MOIST SEEDBED). MAXIMUM SEEDING DEPTH SHOULD BE 1/4" ON CLAYEY SOILS AND 1/2" ON SANDY SOILS. WHEN USING OTHER THAN HYDROSEEDER METHOD OF APPLICATION, NOTE: IF HYDROSEEDING IS USED AND THE SEED AND FERTILIZER IS MIXED, THEY WILL BE MIXED ON SITE AND THE SEEDING SHALL BE IMMEDIATE WITHOUT INTERRUPTION.
- MULCHING:
 - MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. MULCH MATERIALS AND APPLICATIONS SHALL CONFORM TO THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."

- ALL SPECIFICATIONS, SITE PREPARATION, INSTALLATION AND MAINTENANCE OF SOD/TURFGRASS FOR PERMANENT, LONG-LIVED VEGETATIVE COVER SHALL CONFORM TO THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."
- SCOPE: PLANTING SHORT-TERM VEGETATION TO STABILIZED, CLEARED OR GRADED AREAS SUBJECT

TEMPORARY SEEDING NOTES

- TO EROSION FOR A PERIOD OF 7 DAYS OR MORE.
- STANDARDS: TEMPORARY SEEDING SHALL CONFORM TO ALL REQUIREMENTS OF THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."
- SEDIMENT & EROSION CONTROL: ALL PERIMETER CONTROLS MUST BE STABILIZED IN 7 DAYS. ALL INTERIOR CONTROLS MUST BE STABILIZED IN 7 DAYS.

- SITE PREPARATION:
 - PRIOR TO SEEDING INSTALL ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES.
 - FINAL GRADING NOT REQUIRED FOR TEMPORARY SEEDING.
- SOIL AMENDMENTS:
 - FERTILIZER SHALL BE APPLIED AT THE RATE OF 600 LBS./AC. (15 LBS./1000 SQ. FT.) USING 10-10-10 OR EQUIVALENT.
 - LIME SHALL BE APPLIED AT A RATE OF 2 TONS/AC. (100 LBS./1000 SQ. FT.).
- SEEDBED PREPARATION:
 - SOIL SHALL BE LOOSENEED TO A DEPTH OF 3-5 INCHES BY RAKING, DISCING, OR OTHER ACCEPTABLE MEANS PRIOR TO SEEDING.
- SEEDING:
 - USE THE MIXTURE SPECIFIED ON THE TEMPORARY SEEDING SUMMARY.
 - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER DRILL, CULTIPACKER, OR HYDROSEEDER.
- MULCHING:
 - MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. MULCH MATERIALS AND APPLICATIONS SHALL CONFORM TO THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."

SEQUENCE OF CONSTRUCTION

- POST PUBLIC NOTICE SIGN AS REQUIRED BY THE SWPPP CHECKLIST.
 - CONTACT THE BERKELEY COUNTY ENGINEERING DEPARTMENT FIVE (5) DAYS PRIOR TO BEGINNING ANY WORK. ATTN: STEVE ABEREGG
- BERKELEY COUNTY ENGINEERING DEPARTMENT
1-304-263-1986**
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION DEPICTED.
 - INSTALL SILT FENCE AND SUPER SILT FENCE TO LIMITS INDICATED.
 - CONSTRUCT SWM PONDS - SEE SEQUENCE BELOW
 - INSTALL EARTH DIKES AND RIPRAP INFLOW PROTECTION TO LIMITS INDICATED.
 - CLEAR AND GRUB AS REQUIRED FOR CONSTRUCTION OF ROADWAYS AND INSTALLATION OF WATER AND SEWER UTILITIES.
 - REMOVE TOPSOIL AND STOCKPILE WITHIN AREA INDICATED.
 - REQUEST SEDIMENT CONTROL INSPECTOR FROM BERKELEY COUNTY PRIOR TO BEGINNING SITE GRADING.
 - TEMPORARILY SEED/MULCH TOPSOIL STOCKPILE IN ACCORDANCE WITH SEEDING NOTES.
 - BEGIN ROAD GRADING OPERATIONS.
 - INSTALL UTILITIES SUCH AS WATER, SANITARY SEWER & STORM SEWER, ETC.
 - INSTALL INLET PROTECTION ON STORM SEWER.
 - FINE GRADE SITE.
 - REQUEST PROOF ROLL FROM BERKELEY COUNTY.
 - PLACE PAVEMENTS TO THE DEPTHS AND LIMITS INDICATED. COORDINATE PLACEMENT WITH BERKELEY COUNTY INSPECTION STAFF.
 - SPREAD TOPSOIL OVER AREAS TO BE SEEDDED.
 - INSTALL STONE CHECK DAMS WITHIN DITCH LINES WHERE SHOWN.
 - INSTALL SOIL STABILIZATION MATTING WITHIN DITCH LINES SCHEDULED TO RECEIVE MATTING.
 - STABILIZE REMAINING DISTURBED AREAS IN ACCORDANCE WITH THE SEEDING SCHEDULE.
 - INSTALL STREET SIGNS AND STOP SIGNS.
 - NOTIFY THE BERKELEY COUNTY ENGINEERING DEPARTMENT FORTY-EIGHT (48) HOURS PRIOR TO THE PLANNED REMOVAL OF ANY SEDIMENT CONTROL MEASURES:
- BERKELEY COUNTY ENGINEERING DEPARTMENT
1-304-263-1986**
- PREPARE AS-BUILT DRAWINGS.

NOTE: IF THE SEQUENCE IS NOT FOLLOWED A \$100 RE-INSPECTION FEE WILL BE CHARGED.

SEQUENCE OF CONSTRUCTION

SWM POND CONSTRUCTION

TYPICAL OF ALL THREE (3) PONDS

- CONTACT THE BERKELEY COUNTY ENGINEERING DEPARTMENT FIVE (5) DAYS PRIOR TO BEGINNING ANY WORK ON THE STORMWATER MANAGEMENT STRUCTURE. ATTN: STEVE ABEREGG
- BERKELEY COUNTY ENGINEERING DEPARTMENT
1-304-263-1986**
- INSTALL SILT FENCE ON DOWNSTREAM SIDE OF POND CONSTRUCTION.
 - REQUEST SEDIMENT CONTROL INSPECTOR FROM BERKELEY COUNTY PRIOR TO BEGINNING POND GRADING.
 - CLEAR AND GRUB AREA AS REQUIRED FOR CONSTRUCTION OF THE STORMWATER MANAGEMENT STRUCTURE'S BERM.
 - REMOVE TOPSOIL AND STOCKPILE IN APPROVED AREA.
 - TEMPORARILY SEED AND MULCH TOPSOIL STOCKPILE IN ACCORDANCE WITH THE SEEDING NOTES.
 - EXCAVATE AREA TO RECEIVE CORE TRENCH.
 - INSTALL CORE TRENCH TO THE LINES AND GRADES INDICATED. CONSTRUCT CORE TRENCH IN STRICT ACCORDANCE WITH THE 378 CONSTRUCTION SPECIFICATIONS.
 - CONSTRUCT STORMWATER MANAGEMENT OUTLET DEVICE TO THE DIMENSIONS INDICATED.
 - INSTALL SEDIMENT TRAP DEWATERING DEVICE
 - CONSTRUCT STORMWATER MANAGEMENT AREA BERM.
 - PERMANENTLY SEED AND MULCH BERM AREA IN ACCORDANCE WITH SEEDING SCHEDULE.
 - STABILIZE OUTLET CHANNEL IN ACCORDANCE WITH THE CONSTRUCTION DETAILS.
 - SPREAD TOPSOIL AND STABILIZE AREA IN ACCORDANCE WITH SEEDING NOTES.
 - NOTIFY THE BERKELEY COUNTY ENGINEERING DEPARTMENT FORTY-EIGHT (48) HOURS PRIOR TO THE PLANNED REMOVAL OF ANY SEDIMENT CONTROL MEASURES:
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1-304-263-1986**
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- POST PUBLIC NOTICE SIGN AS REQUIRED BY THE SWPPP CHECKLIST.
 - CONTACT THE BERKELEY COUNTY ENGINEERING DEPARTMENT FIVE (5) DAYS PRIOR TO BEGINNING ANY WORK. ATTN: STEVE ABEREGG
- BERKELEY COUNTY ENGINEERING DEPARTMENT
1-304-263-1986**
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION DEPICTED.
 - INSTALL SILT FENCE AND SUPER SILT FENCE TO LIMITS INDICATED.
 - CONSTRUCT SWM PONDS - SEE SEQUENCE BELOW
 - INSTALL EARTH DIKES AND RIPRAP INFLOW PROTECTION TO LIMITS INDICATED.
 - CLEAR AND GRUB AS REQUIRED FOR CONSTRUCTION OF ROADWAYS AND INSTALLATION OF WATER AND SEWER UTILITIES.
 - REMOVE TOPSOIL AND STOCKPILE WITHIN AREA INDICATED.
 - REQUEST SEDIMENT CONTROL INSPECTOR FROM BERKELEY COUNTY PRIOR TO BEGINNING SITE GRADING.
 - TEMPORARILY SEED/MULCH TOPSOIL STOCKPILE IN ACCORDANCE WITH SEEDING NOTES.
 - BEGIN ROAD GRADING OPERATIONS.
 - INSTALL UTILITIES SUCH AS WATER, SANITARY SEWER & STORM SEWER, ETC.
 - INSTALL INLET PROTECTION ON STORM SEWER.
 - FINE GRADE SITE.
 - REQUEST PROOF ROLL FROM BERKELEY COUNTY.
 - PLACE PAVEMENTS TO THE DEPTHS AND LIMITS INDICATED. COORDINATE PLACEMENT WITH BERKELEY COUNTY INSPECTION STAFF.
 - SPREAD TOPSOIL OVER AREAS TO BE SEEDDED.
 - INSTALL STONE CHECK DAMS WITHIN DITCH LINES WHERE SHOWN.
 - INSTALL SOIL STABILIZATION MATTING WITHIN DITCH LINES SCHEDULED TO RECEIVE MATTING.
 - STABILIZE REMAINING DISTURBED AREAS IN ACCORDANCE WITH THE SEEDING SCHEDULE.
 - INSTALL STREET SIGNS AND STOP SIGNS.
 - NOTIFY THE BERKELEY COUNTY ENGINEERING DEPARTMENT FORTY-EIGHT (48) HOURS PRIOR TO THE PLANNED REMOVAL OF ANY SEDIMENT CONTROL MEASURES:
- BERKELEY COUNTY ENGINEERING DEPARTMENT
1-304-263-1986**
- PREPARE AS-BUILT DRAWINGS.

NOTE: IF THE SEQUENCE IS NOT FOLLOWED A \$100 RE-INSPECTION FEE WILL BE CHARGED.

NO.	REVISION	DATE	BY	APP'D	SCALE
9					
8	REVISED PER B.C.P.C. COMMENTS	09/09/08	W.J.K.		
7	REVISED PER B.C.P.C. COMMENTS	06/17/08	C.A.S.		
6	REVISED PER B.C.P.S.S.D. COMMENTS	03/25/08	C.A.S.		
5					NONE

DAVIS, RENN & ASSOCIATES, INC.

ENGINEERS ARCHITECTS PLANNERS SURVEYORS

P.O. BOX 246 HAGERSTOWN, MARYLAND 21741

REGISTRATION NO. TELEPHONE 301-739-5660

GENERAL NOTES

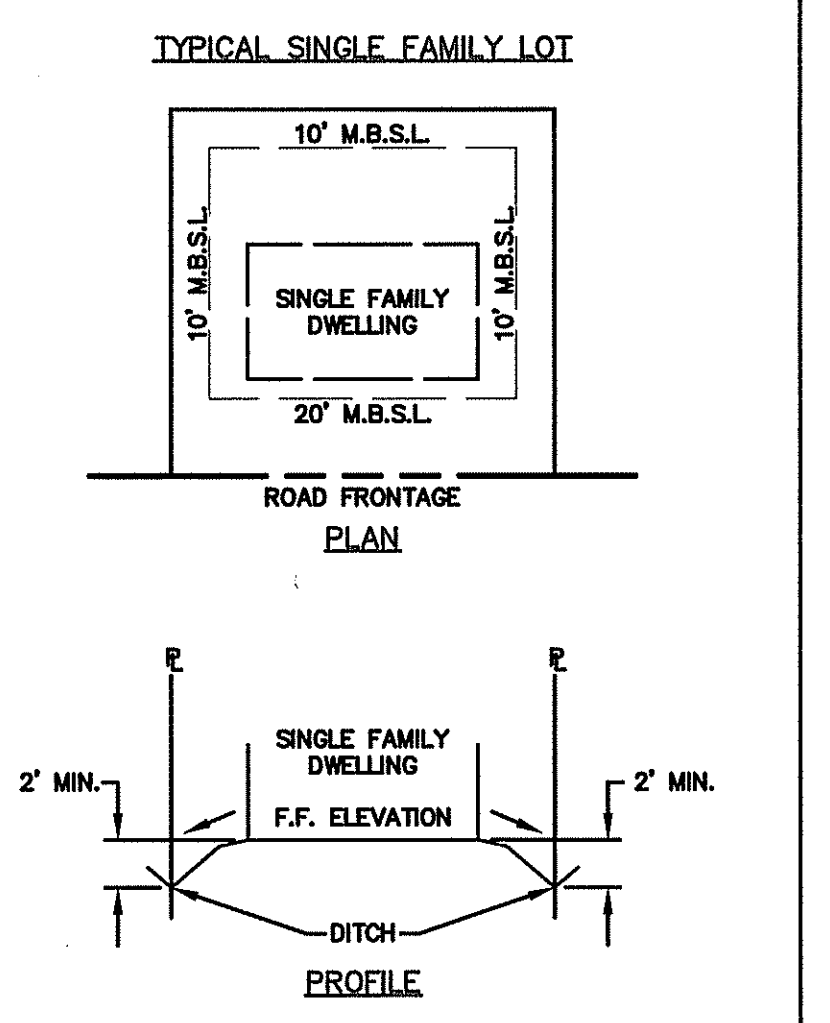
- EXISTING CONTOURS SHOWN HEREON ARE FROM 2005 AERIAL PHOTOGRAMMETRY FURNISHED BY THE OWNER, BASED ON A FIELD SURVEY BY DAVIS, RENN & ASSOCIATES, INC. CONDUCTED IN OCTOBER 2005. NORTH TO AGREE WITH PLAT IN PLAT CABINET 6, SLIDE 170.
- PROPERTY LINES SHOWN HEREON ARE BASED ON A SURVEY BY DAVIS, RENN & ASSOCIATES, INC. CONDUCTED IN OCTOBER 2005.
- ALL DEVELOPMENT SHALL BE DONE IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS FOR BERKELEY COUNTY, WEST VIRGINIA.
- WATER SERVICE IS TO BE SUPPLIED BY THE BERKELEY COUNTY PUBLIC SERVICE WATER DISTRICT.
- ALL WATERLINE CONSTRUCTION SHALL CONFORM TO THE BERKELEY COUNTY PUBLIC SERVICE WATER DISTRICT'S STANDARDS AND SPECIFICATIONS, LATEST EDITION. SEE SEPARATE APPROVED PLANS ON WATERLINE CONSTRUCTION.
- SANITARY SEWER SERVICE IS TO BE SUPPLIED BY THE BERKELEY COUNTY PUBLIC SERVICE SEWER DISTRICT.
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO BERKELEY COUNTY PUBLIC SERVICE SEWER DISTRICT'S STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- THE INDIVIDUAL GRINDER PUMPS SHALL BECOME THE PROPERTY OF THE HOMEOWNER. THE BERKELEY COUNTY PUBLIC SERVICE SEWER DISTRICT WILL ACCEPT RESPONSIBILITY FOR THE FORCE MAIN STARTING AT THE PROPERTY LINE.
- ALL WATERLINE AND SANITARY SEWER CONSTRUCTION SHALL BE DONE IN STRICT ACCORDANCE WITH THE STATE OF WEST VIRGINIA CHAPTER 16-1 SERIES VII REGULATIONS ENTITLED "SEWAGE TREATMENT AND COLLECTION SYSTEMS DESIGN STANDARDS" EFFECTIVE DECEMBER 1, 1983.
- ALL ROADWAY CONSTRUCTION SHALL CONFORM TO THE BERKELEY COUNTY ENGINEERING DEPARTMENT'S STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- PART OF THIS SITE IS COVERED BY ZONE "A" 100 YEAR FLOOD PLAIN PER FEMA F.I.R.M. COMMUNITY PANEL NO. 540282 0276C AND NO. 540282 0038C, DATED NOVEMBER 20, 1988 AS SHOWN HEREIN. THE REMAINDER OF THE PROPERTY IS COVERED BY ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.
- THERE ARE NO KNOWN SINKHOLES, ROCK OUTCROPPINGS, WETLANDS, WATER COURSES, TREE GROVES, SWAMPS, OTHER NATURAL FEATURES, SCENIC AREAS, HISTORIC AREAS OR GRAVEYARDS WITHIN THE DISTURBED AREA OF THIS SITE, EXCEPT AS SHOWN HEREIN.
- THERE ARE NO PUBLIC IMPROVEMENTS ON THIS SITE OR ON ADJACENT LANDS EXCEPT W.V. COUNTY NUMBERED ROUTE 13 (A.K.A. DRY RUN ROAD) ROAD IMPROVEMENTS, EXTENSION OF PUBLIC SANITARY SEWER LINES AND EXTENSION OF STORM DRAIN PIPES UNDER SAID ROAD ROAD, AS SHOWN HEREIN.
- A 10' WIDE DRAINAGE AND UTILITY EASEMENT IS HEREBY RESERVED ALONG THE PROPERTY LINES OF EACH LOT.
- A 10' WIDE STRIP IS HEREBY DEDICATED TO THE W.V. D.O.H. FOR ROAD WIDENING OF W.V. COUNTY NUMBERED ROUTE 13 (A.K.A. DRY RUN ROAD) FROM 15' OFF CENTERLINE TO 25' OFF CENTERLINE OF SAID ROAD ALONG THE LENGTH OF THIS PROPERTY.
- NO SIDEWALKS OR STREET LIGHTS ARE PLANNED AT THIS TIME.
- PROPOSED ROADS: CLASS 1 - 60' R.O.W. - 22' PAVEMENT - 6' SHOULDER CLASS 2 - 50' R.O.W. - 20' PAVEMENT - 5' SHOULDER CLASS 3 - 50' R.O.W. - 18' PAVEMENT - 4' SHOULDER
- WEST VIRGINIA ROAD R.O.W. INFORMATION OBTAINED FROM THE W.V. DEPT. OF TRANSPORTATION, DIVISION OF HIGHWAYS OFFICE IN BURLINGTON, WV.
- UNLESS OTHERWISE STATED, ALL PROPERTY CORNERS ARE 5/8" REBAR WITH CAP (TO BE SET).
- THERE ARE NO KNOWN WATER WELLS OR SANITARY RESERVE AREAS WITHIN 100' OF THIS PARCEL THAT IS BEING DISTURBED.
- NO ON STREET OR PUBLIC PARKING FACILITIES ARE PROVIDED. ALL PARKING FACILITIES SHALL BE LOCATED WITHIN GARAGES AND DRIVEWAYS OF THE PROPOSED LOTS.
- THE ANTICIPATED WATER PRESSURE AT THE PROPOSED FIRE HYDRANT ALONG SLIPPERY ROCK DRIVE NEAR LOT 50 IS 89.8 P.S.I. STATIC, 45.8 P.S.I. RESIDUAL AT 564 G.P.M. FLOW RATE.
- ANY AND ALL BUILDING IMPROVEMENTS (DECKS, PORCHES, BAY WINDOWS, BUMP-OUTS, FIREPLACES, SUNROOMS, ROOF EAVES, ETC.) MUST BE CONSTRUCTED WITHIN THE MINIMUM BUILDING SETBACK LINES (M.B.S.L.).

GENERAL LEGEND

EXISTING SPOT ELEVATIONS	x 582.50
PROPOSED SPOT ELEVATIONS	x 82.5
EXISTING CONTOURS	--- 582 ---
PROPOSED CONTOURS	--- 82 ---
DIRECTION OF FLOW	→
EXISTING	EXST. ---
5/8" REBAR W/ CAP (UNLESS OTHERWISE STATED)	○ OR •
CONCRETE MONUMENT SET (WITH NUMBER)	□ #1
PROPERTY LINE	—
LOT NUMBER	102
FIRE HYDRANT	F.H. ⓧ
WATERLINE	— W —
SANITARY SEWER MANHOLE	MH •
SANITARY SEWER	— S —
DEED BOOK	D.B.
PAGE	P.G.
PARCEL	P.
MINIMUM BUILDING SETBACK LINES	M.B.S.L.
SQUARE FEET	SQ. FT.
TOTAL	(T.)
PART OF	P/O
NUMBER	NO.
STREET SIGN	Ⓛ
STOP SIGN	Ⓣ

GRADING & DRAINAGE NOTES

- GRADING SHALL NOT BE DONE IN SUCH A WAY AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER, EXCEPT IN A GRADED DITCH SHOWN HEREON.
- GRADING SHALL PROVIDE PROPER DRAINAGE AND DISPOSE OF STORMWATER WITHOUT PONDING.
- EXCAVATION OR FILL SHALL NOT ENDANGER ADJOINING PROPERTY.
- LOTS ARE TO BE GRADED TO SECURE PROPER DRAINAGE AWAY FROM BUILDINGS OR STRUCTURES IN ALL DIRECTIONS.
- DRIVEWAY CULVERTS SHALL BE LAID SO AS TO MAINTAIN THE DITCH FLOW THROUGH THE CULVERT WITH A MINIMUM OF 1 FOOT OF COVER OVER CULVERT.
- BASIS FOR THIS LOT GRADING PLAN IS THAT ALL DRIVEWAYS ENTER THE GARAGE 4" OR 0.33' BELOW THE F.F. ELEVATION. DRIVEWAYS SLOPE UPWARD FROM BOTTOM OF CURB (OR THE EDGE OF ROADWAY PAVING) TO GARAGE GRADE. LOT GRADING PLANS ARE TO BE MADE AVAILABLE BY THE DEVELOPER TO ALL OWNERS AND THEIR CONTRACTORS.
- BLOCKS AND THE LOTS THEREIN SHALL BE GRADED TO SECURE PROPER DRAINAGE AWAY FROM BUILDINGS OR STRUCTURES IN ALL DIRECTIONS.



- NOTES:
- SEE LOT GRADING PLAN (SHEETS 10 & 11) FOR FURTHER DETAILS.
 - SEE PRELIMINARY PLAT (SHEETS 5, 6 & 7) FOR FURTHER DETAIL.
 - GROUND SLOPES AWAY FROM DWELLING ON ALL FOUR SIDES.

GENERAL CONSTRUCTION NOTES

THE CONTRACTOR SHALL HAVE:

- A CURRENT WV CONTRACTORS LICENSE, TO BE DISPLAYED ON SITE.
- CURRENT APPROVED CONSTRUCTION DOCUMENTS ON SITE.
- ALL APPLICABLE PERMITS AVAILABLE ON SITE DURING CONSTRUCTION.

ALL CONSTRUCTION ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE WDOH SPECIFICATION BOOK, THE WV EROSION AND SEDIMENT CONTROL HANDBOOK, AND ANY APPLICABLE SPECIFICATIONS UNDER WHICH A PUBLIC ENTITY HAS JURISDICTION.

B.C.P.C. FILE NO. 030-06

SHEET NO.	2 OF 34
PROJECT NO.	051024
FILE NO.	B-1724

NOTES

FOR

SUNDANCE VALLEY

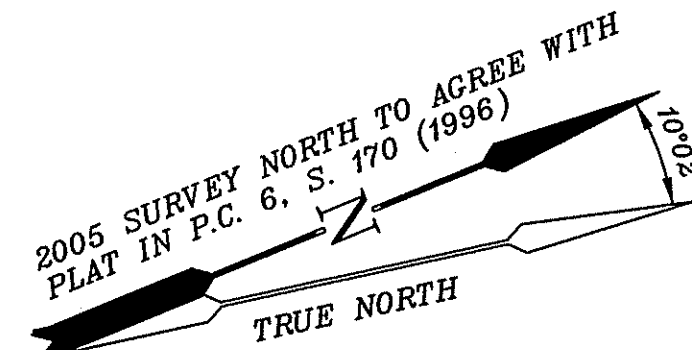
TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

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DETAILED - SOIL MAP UNITS

- Fk - FUNKSTOWN SILT LOAM
- HbB - HAGERSTOWN SILT LOAM, 3 TO 8% SLOPES
- HcC - HAGERSTOWN SILTY CLAY LOAM, 8 TO 15% SLOPES
- HgC - HAGERSTOWN-OPEQUON-ROCK OUTCROP COMPLEX, 3 TO 15% SLOPES

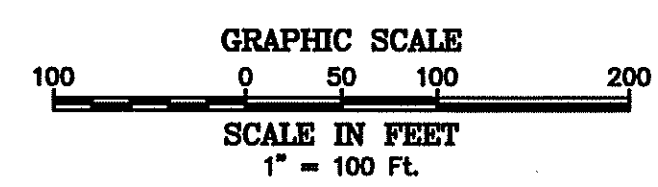
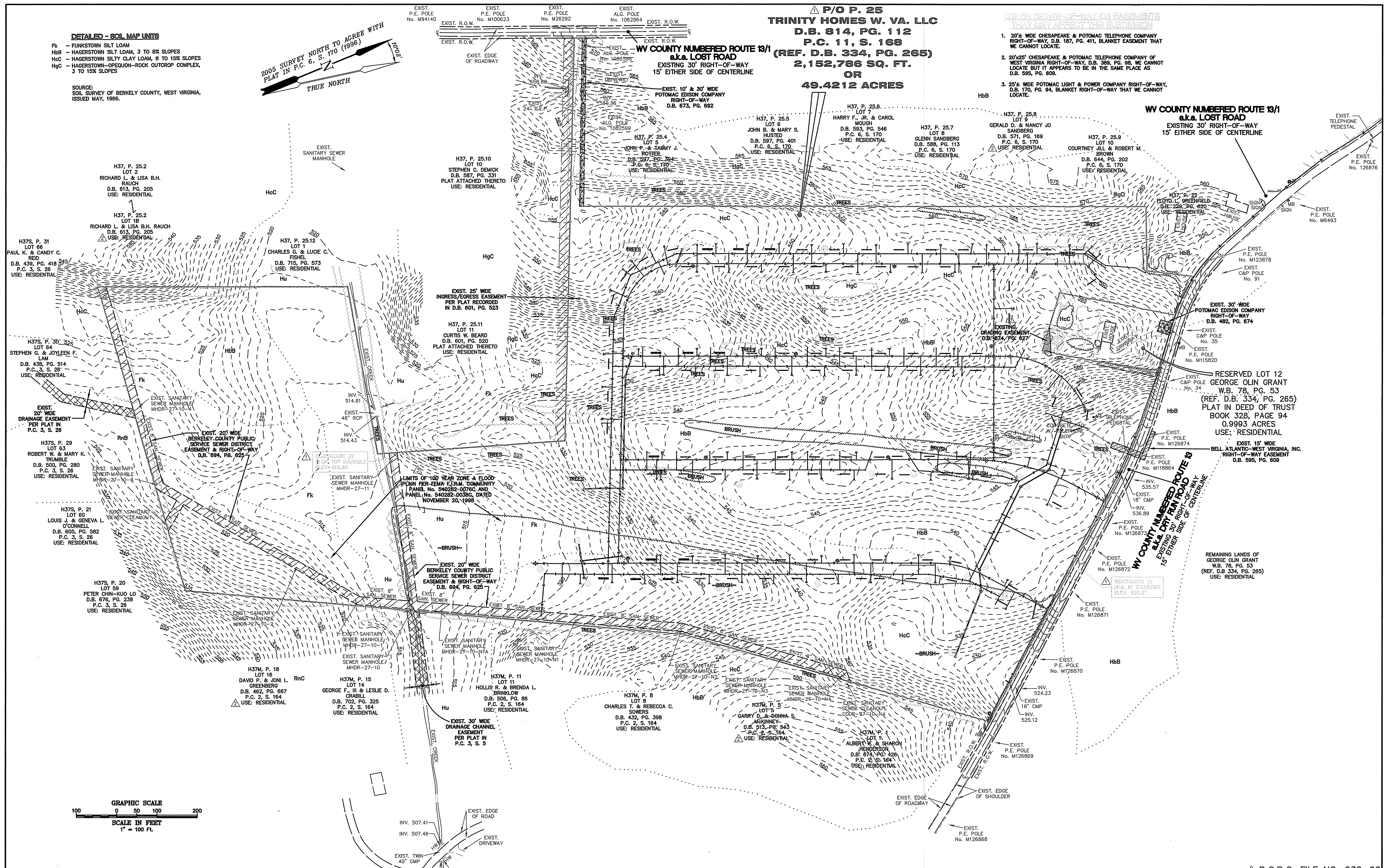
SOURCE:
SOIL SURVEY OF BERKELEY COUNTY, WEST VIRGINIA,
ISSUED MAY, 1966.



P/O P. 25
TRINITY HOMES W. VA. LLC
D.B. 814, PG. 112
P.C. 11, S. 168
(REF. D.B. 334, PG. 265)
2,152,786 SQ. FT.
OR
49.4212 ACRES

EXISTING RIGHT-OF-WAY OR EASEMENTS THAT MAY AFFECT THIS SUBDIVISION

1. 20'± WIDE CHESAPEAKE & POTOMAC TELEPHONE COMPANY RIGHT-OF-WAY, D.B. 187, PG. 411, BLANKET EASEMENT THAT WE CANNOT LOCATE.
2. 20'± CHESAPEAKE & POTOMAC TELEPHONE COMPANY OF WEST VIRGINIA RIGHT-OF-WAY, D.B. 389, PG. 98, WE CANNOT LOCATE BUT IT APPEARS TO BE IN THE SAME PLACE AS D.B. 595, PG. 609.
3. 25'± WIDE POTOMAC LIGHT & POWER COMPANY RIGHT-OF-WAY, D.B. 170, PG. 94, BLANKET RIGHT-OF-WAY THAT WE CANNOT LOCATE.



No.	REVISION	DATE	APP'D	SCALE 1" = 100'
9				
8	REVISED PER B.C.P.C. COMMENTS	09/09/08	W.J.K.	DATE 03/01/07
7	REVISED PER B.C.P.C. COMMENTS	06/17/08	C.A.S.	DATE 03/01/07
6	REVISED PER B.C.P.S.D. COMMENTS	03/25/08	C.A.S.	DATE 03/01/07
5				

DAVIS, RENN & ASSOCIATES, INC.
ENGINEERS ARCHITECTS PLANNERS SURVEYORS
P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
TELEPHONE 301-739-5660

EXISTING CONDITIONS FOR SUNDANCE VALLEY

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

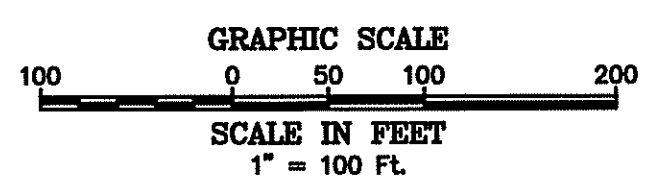
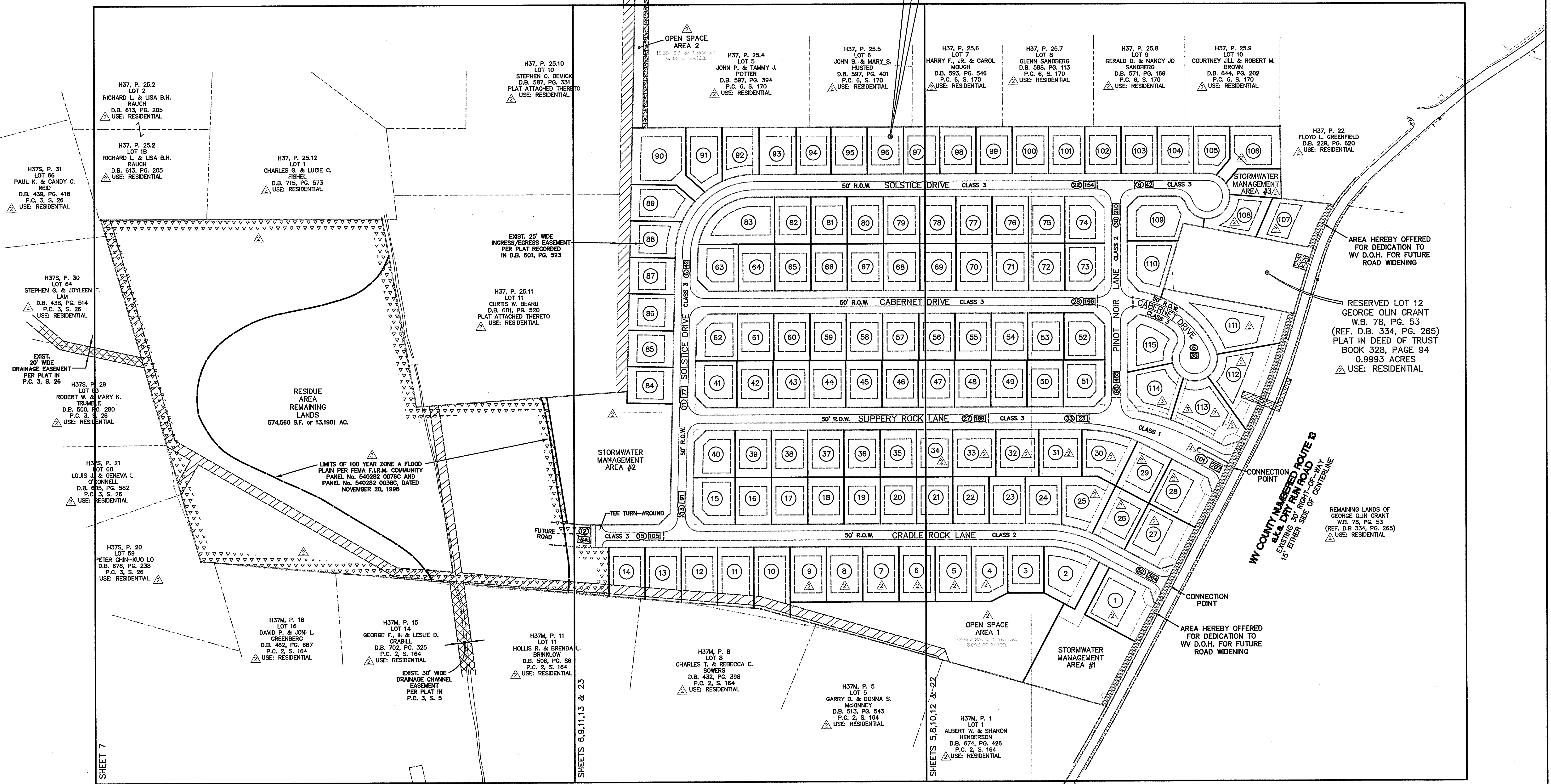
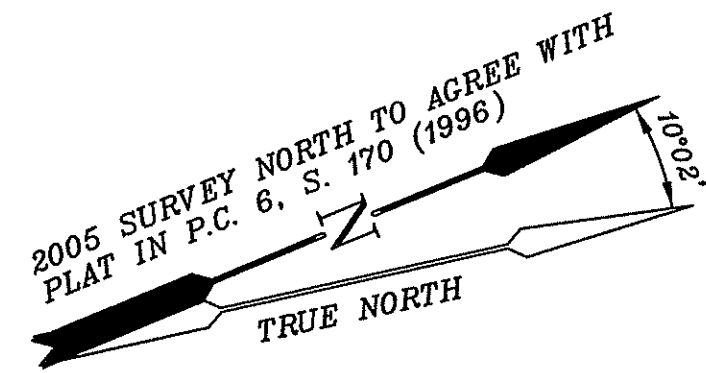
SHEET NO.	3 of 34
PROJECT NO.	051024
FILE NO.	B-1724

▲ B.C.P.C. FILE NO. 030-06

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WV COUNTY NUMBERED ROUTE 13/1
a.k.a. LOST ROAD
EXISTING 30' RIGHT-OF-WAY
15' EITHER SIDE OF CENTERLINE

P/O P. 25
TRINITY HOMES W. VA. LLC
D.B. 814, PG. 112
P.C. 11, S. 168
(REF. D.B. 334, PG. 265)
2,152,786 SQ. FT.
OR
49.4212 ACRES



NO.	REVISION	BY	DATE	APP'D	SCALE
9					
8	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08		
7	REVISED PER B.C.P.C. COMMENTS	C.A.S.	06/17/08		
6	REVISED PER B.C.P.S.D. COMMENTS	C.A.S.	03/25/08		
5					

DAVIS, RENN & ASSOCIATES, INC.
ENGINEERS ARCHITECTS PLANNERS SURVEYORS
P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
TELEPHONE 301-739-5660

OVERALL LAYOUT & INDEX SHEET
FOR
SUNDANCE VALLEY

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

△ B.C.P.C. FILE NO. 030-06

SHEET NO.	4 OF 34
PROJECT NO.	051024
FILE NO.	B-1724

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△△ SITE DATA

TOTAL PROPERTY AREA..... 49.4212 ACRES
 TOTAL LOT AREA..... 24,4039 ACRES
 TOTAL ROAD AREA..... 7.3165 ACRES
 TOTAL SWM AREA..... 2.5432 ACRES
 TOTAL OPEN SPACE AREA..... 1.7233 ACRES
 TOTAL DEDICATED R.O.W..... 0.2442 ACRES
 REMAINING LANDS..... 13.1901 ACRES

TOTAL IMPERVIOUS AREA..... 12.37 ACRES OR 30% OF LOTS AND ROADS
 TOTAL DISTURBED AREA..... 33.78 ACRES OR 68% OF PARCEL
 NUMBER OF LOTS..... 115
 FUNCTIONAL DESCRIPTION..... SINGLE FAMILY RESIDENTIAL
 UNITS PER ACRE..... 5.17
 SEWER & WATER..... PUBLIC
 SOLID WASTE DISPOSAL..... INDIVIDUAL COLLECTION

MINIMUM BUILDING SETBACK LINES (M.B.S.L.)
 FRONT - 50' FROM WV ROUTE 13 (A.K.A. DRY RUN ROAD)
 R.O.W. LINE, (CORNER LOTS HAVE 50' ON WV ROUTE 13 & 20' ON INTERNAL STREETS).
 FRONT, INTERNAL STREETS - 20' FROM THE FRONT R.O.W. LINE, (CORNER LOTS HAVE 20' M.B.S.L. ON BOTH STREETS)
 SIDES - 10' EACH SIDE
 REAR - 20'

MINIMUM LOT SIZE ALLOWED: 7,500 S.F. OR 0.1722 ACRES
 MINIMUM LOT WIDTH ALLOWED: 60'

GRAPHIC SCALE
 1" = 50 FT.

△△ GENERAL LEGEND

EXISTING SPOT ELEVATIONS x 582.50
 PROPOSED SPOT ELEVATIONS x 82.5
 EXISTING CONTOURS - - - 582
 PROPOSED CONTOURS - - - 82
 DIRECTION OF FLOW →

EXISTING EXIST.
 5/8" REBAR W/ CAP (UNLESS OTHERWISE STATED) OR •
 CONCRETE MONUMENT SET (WITH NUMBER) #

PROPERTY LINE (102)
 LOT NUMBER (102)
 FIRE HYDRANT F.H. H
 WATERLINE W
 SANITARY SEWER MANHOLE MH •
 SANITARY SEWER S
 DEED BOOK D.B.
 PAGE PG.
 PARCEL P.
 MINIMUM BUILDING SETBACK LINE M.B.S.L.
 SQUARE FEET SQ. FT.
 TOTAL (T.)
 PART OF P/O
 NUMBER NO.
 STREET SIGN
 STOP SIGN

P/O P. 25
TRINITY HOMES W. VA. LLC
 D.B. 814, PG. 112
 P.C. 11, S. 168
 (REF. D.B. 334, PG. 265)
 2,152,786 SQ. FT.
 OR
 49.4212 ACRES
 USE: RESIDENTIAL

H37, P. 25.7
 LOT 8
 GLENN SANDBERG
 D.B. 588, PG. 113
 P.C. 6, S. 170
 USE: RESIDENTIAL

H37, P. 25.6
 LOT 7
 HARRY F., JR. & CAROL MOUGH
 D.B. 593, PG. 546
 P.C. 6, S. 170
 USE: RESIDENTIAL

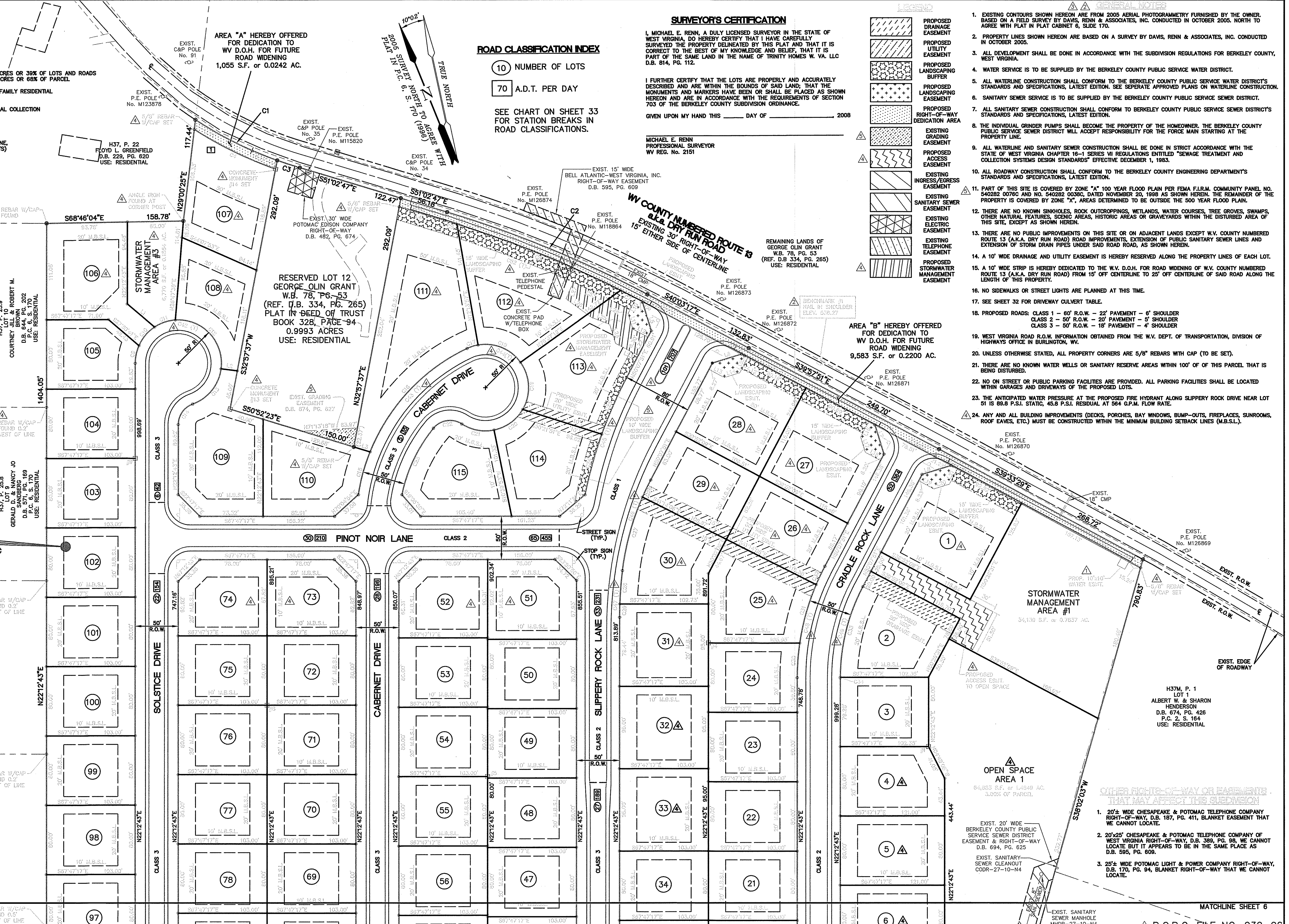
H37, P. 25.9
 LOT 10 ROBERT M. COURTNEY, JR. BROWN
 D.B. 644, PG. 202
 P.C. 6, S. 170
 USE: RESIDENTIAL

H37, P. 25.8
 LOT 9 GERALD L. SANDERS
 D.B. 571, PG. 169
 P.C. 6, S. 170
 USE: RESIDENTIAL

H37, P. 25.6
 LOT 7 HARRY F., JR. & CAROL MOUGH
 D.B. 593, PG. 546
 P.C. 6, S. 170
 USE: RESIDENTIAL

H37, P. 25.7
 LOT 8 GLENN SANDBERG
 D.B. 588, PG. 113
 P.C. 6, S. 170
 USE: RESIDENTIAL

H37M, P. 1
 LOT 1
 ALBERT W. & SHARON HENDERSON
 D.B. 674, PG. 426
 P.C. 2, S. 164
 USE: RESIDENTIAL



ROAD CLASSIFICATION INDEX

10 NUMBER OF LOTS
 70 A.D.T. PER DAY

SEE CHART ON SHEET 33 FOR STATION BREAKS IN ROAD CLASSIFICATIONS.

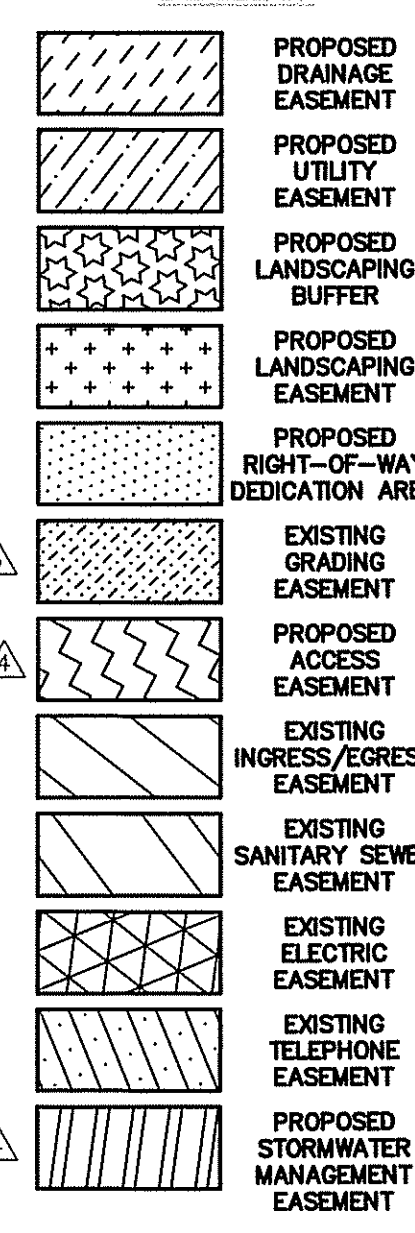
SURVEYOR'S CERTIFICATION

I, MICHAEL E. RENN, A DULY LICENSED SURVEYOR IN THE STATE OF WEST VIRGINIA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED BY THIS PLAT AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT IT IS PART OF THE SAME LAND IN THE NAME OF TRINITY HOMES W. VA. LLC D.B. 814, PG. 112.

I FURTHER CERTIFY THAT THE LOTS ARE PROPERLY AND ACCURATELY DESCRIBED AND ARE WITHIN THE BOUNDS OF SAID LAND; THAT THE MONUMENTS AND MARKERS HAVE BEEN OR SHALL BE PLACED AS SHOWN HEREON AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 703 OF THE BERKELEY COUNTY SUBDIVISION ORDINANCE.

GIVEN UPON MY HAND THIS _____ DAY OF _____ 2008

MICHAEL E. RENN
 PROFESSIONAL SURVEYOR
 WV REG. NO. 2151



- GENERAL NOTES**
- EXISTING CONTOURS SHOWN HEREON ARE FROM 2005 AERIAL PHOTOGRAMMETRY FURNISHED BY THE OWNER, BASED ON A FIELD SURVEY BY DAVIS, RENN & ASSOCIATES, INC. CONDUCTED IN OCTOBER 2005, NORTH TO AGREE WITH PLAT IN PLAT CABINET 6, SLIDE 170.
 - PROPERTY LINES SHOWN HEREON ARE BASED ON A SURVEY BY DAVIS, RENN & ASSOCIATES, INC. CONDUCTED IN OCTOBER 2005.
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 - ALL ROADWAY CONSTRUCTION SHALL CONFORM TO THE BERKELEY COUNTY ENGINEERING DEPARTMENT'S STANDARDS AND SPECIFICATIONS, LATEST EDITION.
 - PART OF THIS SITE IS COVERED BY ZONE "A" 100 YEAR FLOOD PLAIN PER FEMA F.I.R.M. COMMUNITY PANEL NO. 54022 00760, DATED NOVEMBER 23, 1998 AS SHOWN HEREIN. THE REMAINDER OF THE PROPERTY IS COVERED BY ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.
 - THERE ARE NO KNOWN SINKHOLES, ROCK OUTCROPPINGS, WETLANDS, WATER COURSES, TREE GROVES, SWAMPS, OTHER NATURAL FEATURES, SCENIC AREAS, HISTORIC AREAS OR GRAVEYARDS WITHIN THE DISTURBED AREA OF THIS SITE, EXCEPT AS SHOWN HEREIN.
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 - A 10' WIDE DRAINAGE AND UTILITY EASEMENT IS HEREBY RESERVED ALONG THE PROPERTY LINES OF EACH LOT.
 - A 10' WIDE STRIP IS HEREBY DEDICATED TO THE W.V. D.O.H. FOR ROAD WIDENING OF W.V. COUNTY NUMBERED ROUTE 13 (A.K.A. DRY RUN ROAD) FROM 15' OFF CENTERLINE TO 25' OFF CENTERLINE OF SAID ROAD ALONG THE LENGTH OF THIS PROPERTY.
 - NO SIDEWALKS OR STREET LIGHTS ARE PLANNED AT THIS TIME.
 - SEE SHEET 32 FOR DRIVEWAY CULVERT TABLE.
 - PROPOSED ROADS: CLASS 1 - 60' R.O.W. - 22' PAVEMENT - 6' SHOULDER
 CLASS 2 - 50' R.O.W. - 20' PAVEMENT - 5' SHOULDER
 CLASS 3 - 50' R.O.W. - 18' PAVEMENT - 4' SHOULDER
 - WEST VIRGINIA ROAD R.O.W. INFORMATION OBTAINED FROM THE W.V. DEPT. OF TRANSPORTATION, DIVISION OF HIGHWAYS OFFICE IN BURLINGTON, WV.
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 - THERE ARE NO KNOWN WATER WELLS OR SANITARY RESERVE AREAS WITHIN 100' OF THIS PARCEL THAT IS BEING DISTURBED.
 - NO ON STREET OR PUBLIC PARKING FACILITIES ARE PROVIDED. ALL PARKING FACILITIES SHALL BE LOCATED WITHIN GARAGES AND DRIVEWAYS OF THE PROPOSED LOTS.
 - THE ANTICIPATED WATER PRESSURE AT THE PROPOSED FIRE HYDRANT ALONG SLIPPERY ROCK DRIVE NEAR LOT 51 IS 89.8 P.S.I. STATIC, 45.8 P.S.I. RESIDUAL AT 564 G.P.M. FLOW RATE.
 - ANY AND ALL BUILDING IMPROVEMENTS (DECKS, PORCHES, BAY WINDOWS, BUMP-OUTS, FIREPLACES, SUNROOMS, ROOF EAVES, ETC.) MUST BE CONSTRUCTED WITHIN THE MINIMUM BUILDING SETBACK LINES (M.B.S.L.).

DAVIS, RENN & ASSOCIATES, INC.
 ENGINEERS ARCHITECTS PLANNERS SURVEYORS
 P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
 TELEPHONE 301-739-5660

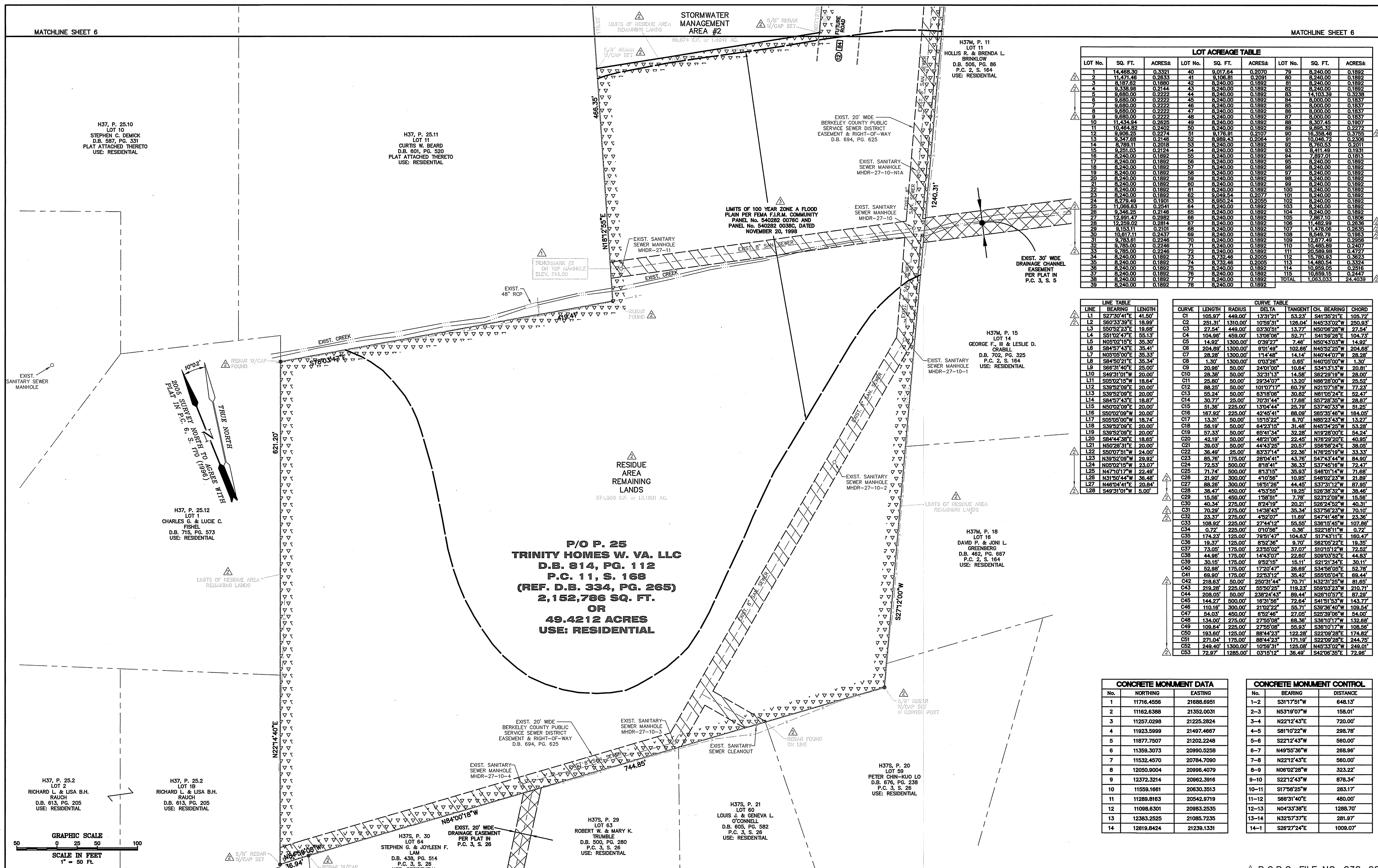
PRELIMINARY PLAT FOR SUNDANCE VALLEY

SHEET NO. 5 OF 34
 PROJECT NO. 051024
 FILE NO. B-1724

B.C.P.C. FILE NO. 030-06

9	REVISION	BY	DATE	APP'D	SCALE	1" = 50'
8	REVISER PER B.C.P.C. COMMENTS	W.J.K.	09/09/08	No.		
7	REVISER PER B.C.P.S.D. COMMENTS					
6	REVISER PER B.C.P.S.W.D. COMMENTS					
5	REVISER PER B.C.P.S. COMMENTS					
4	REVISER PER IN-HOUSE REVIEW					
3	REVISER PER B.C.P.S. COMMENTS					
2	REVISER PER B.C.P.S. COMMENTS					
1	REVISER PER B.C.P.S. COMMENTS					

H:\1850925 Sundance Valley\Correspondence\Email\in\2018-10-22\plans\DRAWINGS\PRE-PLAT.dwg, 10/23/2018 12:03 PM



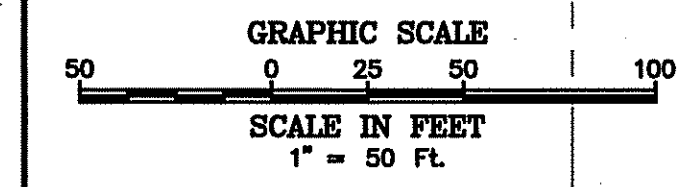
LOT ACRES TABLE								
LOT No.	SQ. FT.	ACRES±	LOT No.	SQ. FT.	ACRES±	LOT No.	SQ. FT.	ACRES±
1	14,468.30	0.3321	40	9,017.64	0.2070	79	8,240.00	0.1892
2	11,471.46	0.2633	41	9,106.81	0.2091	80	8,240.00	0.1892
3	8,187.82	0.1880	42	8,240.00	0.1892	81	8,240.00	0.1892
4	9,338.96	0.2144	43	8,240.00	0.1892	82	8,240.00	0.1892
5	9,680.00	0.2222	44	8,240.00	0.1892	83	14,103.39	0.3238
6	9,680.00	0.2222	45	8,240.00	0.1892	84	8,000.00	0.1837
7	9,680.00	0.2222	46	8,240.00	0.1892	85	8,000.00	0.1837
8	9,680.00	0.2222	47	8,240.00	0.1892	86	8,000.00	0.1837
9	9,680.00	0.2222	48	8,240.00	0.1892	87	8,000.00	0.1837
10	11,434.94	0.2625	49	8,240.00	0.1892	88	8,307.45	0.1907
11	10,464.82	0.2402	50	8,240.00	0.1892	89	9,895.32	0.2272
12	9,908.25	0.2274	51	9,176.91	0.2117	90	16,358.48	0.3755
13	9,347.88	0.2146	52	8,985.43	0.2084	91	10,046.72	0.2308
14	8,789.11	0.2018	53	8,240.00	0.1892	92	8,760.53	0.2011
15	9,251.03	0.2124	54	8,240.00	0.1892	93	8,411.49	0.1931
16	8,240.00	0.1892	55	8,240.00	0.1892	94	7,897.01	0.1813
17	8,240.00	0.1892	56	8,240.00	0.1892	95	8,240.00	0.1892
18	8,240.00	0.1892	57	8,240.00	0.1892	96	8,240.00	0.1892
19	8,240.00	0.1892	58	8,240.00	0.1892	97	8,240.00	0.1892
20	8,240.00	0.1892	59	8,240.00	0.1892	98	8,240.00	0.1892
21	8,240.00	0.1892	60	8,240.00	0.1892	99	8,240.00	0.1892
22	8,240.00	0.1892	61	8,240.00	0.1892	100	8,240.00	0.1892
23	8,240.00	0.1892	62	9,048.54	0.2077	101	8,240.00	0.1892
24	8,240.00	0.1892	63	8,959.24	0.2055	102	8,240.00	0.1892
25	11,066.83	0.2541	64	8,240.00	0.1892	103	8,240.00	0.1892
26	9,346.25	0.2146	65	8,240.00	0.1892	104	8,240.00	0.1892
27	12,981.47	0.2982	66	8,240.00	0.1892	105	8,240.00	0.1892
28	12,259.02	0.2814	67	8,240.00	0.1892	106	11,480.89	0.2636
29	9,153.11	0.2101	68	8,240.00	0.1892	107	11,478.06	0.2635
30	10,617.11	0.2437	69	8,240.00	0.1892	108	8,549.79	0.1963
31	9,783.81	0.2246	70	8,240.00	0.1892	109	12,877.48	0.2958
32	9,785.00	0.2246	71	8,240.00	0.1892	110	10,485.89	0.2407
33	9,785.00	0.2246	72	8,240.00	0.1892	111	20,589.98	0.4727
34	8,240.00	0.1892	73	8,732.46	0.2005	112	15,780.93	0.3623
35	8,240.00	0.1892	74	8,240.00	0.1892	113	14,480.54	0.3324
36	8,240.00	0.1892	75	8,240.00	0.1892	114	10,959.05	0.2516
37	8,240.00	0.1892	76	8,240.00	0.1892	115	10,659.15	0.2447
38	8,240.00	0.1892	77	8,240.00	0.1892	TOTAL	1,065,033	24.4039
39	8,240.00	0.1892	78	8,240.00	0.1892			

LINE	BEARING	LENGTH
L1	S27°30'41"E	41.50'
L2	S60°33'39"E	18.99'
L3	S50°52'23"E	19.68'
L4	S51°02'47"E	55.13'
L5	N05°02'15"E	35.30'
L6	S84°57'43"E	35.41'
L7	N05°05'00"E	35.33'
L8	S84°57'43"E	35.34'
L9	S66°31'40"E	25.00'
L10	S49°31'01"W	20.00'
L11	S05°02'15"W	18.64'
L12	S39°52'08"E	20.00'
L13	S39°52'08"E	20.00'
L14	S84°57'43"E	18.67'
L15	N50°02'08"E	20.00'
L16	S50°02'08"W	20.00'
L17	S05°05'00"W	18.74'
L18	S39°52'08"E	20.00'
L19	S39°52'08"E	20.00'
L20	S84°44'38"E	18.65'
L21	N05°02'31"E	20.00'
L22	S50°07'51"W	24.00'
L23	N39°52'08"W	29.92'
L24	N05°02'15"W	23.07'
L25	N47°10'17"W	22.49'
L26	N31°50'44"W	36.48'
L27	N46°04'41"E	20.84'
L28	S49°31'01"W	6.00'

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH. BEARING	CHORD
C1	105.07'	449.00'	133°12'11"	53.23'	S41°32'21"E	105.72'
C2	251.31'	1310.00'	105°38'31"	126.04'	N45°33'02"W	250.92'
C3	27.54'	449.00'	03°30'51"	13.77'	N50°06'28"W	27.54'
C4	104.98'	459.00'	130°06'06"	52.71'	S41°59'26"E	104.73'
C5	14.92'	1300.00'	03°29'27"	7.48'	N50°43'03"W	14.92'
C6	204.89'	1300.00'	90°1'49"	102.66'	N45°52'29"W	204.68'
C7	28.28'	1300.00'	114°48'48"	14.14'	N40°44'07"W	28.28'
C8	1.30'	1300.00'	00°30'28"	0.65'	N40°05'00"W	1.30'
C9	20.98'	50.00'	24°01'00"	10.64'	S34°13'13"W	20.91'
C10	28.38'	50.00'	32°31'13"	14.58'	S62°28'19"W	28.00'
C11	25.80'	50.00'	29°34'07"	13.20'	N86°28'00"W	25.52'
C12	88.25'	50.00'	101°07'17"	60.79'	N21°07'18"W	77.23'
C13	55.24'	50.00'	83°18'08"	30.82'	N61°05'24"E	52.47'
C14	30.77'	25.00'	70°31'44"	17.68'	S72°28'35"W	28.87'
C15	51.30'	225.00'	130°44'44"	25.79'	S37°40'33"W	51.30'
C16	167.92'	225.00'	42°45'41"	88.09'	S85°35'46"W	164.05'
C17	13.31'	50.00'	15°15'22"	6.70'	N85°23'43"W	13.27'
C18	58.19'	50.00'	64°23'15"	31.48'	N45°34'25"W	53.28'
C19	57.33'	50.00'	65°41'34"	32.28'	N19°28'00"E	54.24'
C20	42.19'	50.00'	48°21'08"	22.45'	N76°29'20"E	40.95'
C21	50.00'	50.00'	44°33'28"	20.57'	S96°58'24"E	38.05'
C22	36.40'	25.00'	83°37'14"	22.94'	N76°25'19"W	33.33'
C23	85.76'	175.00'	28°04'41"	43.76'	S47°43'44"W	84.90'
C24	72.53'	500.00'	8°18'41"	36.33'	S37°45'16"W	72.47'
C25	71.74'	500.00'	8°13'15"	35.93'	S46°01'14"W	71.88'
C26	21.90'	300.00'	4°05'56"	10.95'	S48°02'23"W	21.89'
C27	88.26'	300.00'	16°51'28"	44.45'	S37°31'12"W	87.85'
C28	38.47'	450.00'	4°33'55"	19.25'	S82°39'32"W	38.46'
C29	15.56'	450.00'	1°58'51"	7.78'	S23°12'09"W	15.56'
C30	40.34'	275.00'	8°24'19"	20.21'	S28°24'52"W	40.31'
C31	70.28'	275.00'	14°38'43"	35.34'	S37°56'23"W	70.10'
C32	23.37'	275.00'	4°52'07"	11.69'	S47°41'48"W	23.36'
C33	108.92'	225.00'	27°44'12"	55.65'	S36°15'45"W	107.86'
C34	6.72'	225.00'	0°10'58"	3.36'	S22°18'11"W	6.72'
C35	174.23'	125.00'	79°51'42"	104.63'	S17°43'11"E	168.47'
C36	19.37'	125.00'	8°52'36"	9.70'	S82°05'22"E	19.35'
C37	73.05'	175.00'	23°55'02"	37.07'	S10°15'12"W	72.82'
C38	44.96'	175.00'	14°43'07"	22.80'	S09°03'52"E	44.83'
C39	30.15'	175.00'	9°52'15"	15.11'	S21°21'34"E	30.11'
C40	52.98'	175.00'	17°20'47"	28.69'	S34°58'05"E	52.78'
C41	69.89'	175.00'	22°53'12"	35.42'	S39°08'04"E	69.44'
C42	218.63'	50.00'	250°31'44"	70.71'	N32°31'25"W	81.65'
C43	219.28'	225.00'	55°02'25"	119.23'	S59°03'23"W	210.71'
C44	208.05'	50.00'	238°24'43"	89.44'	N26°10'57"E	87.29'
C45	144.27'	500.00'	16°31'58"	72.84'	S41°51'53"W	143.77'
C46	110.16'	300.00'	21°02'22"	55.71'	S39°38'40"W	109.54'
C47	54.03'	450.00'	6°52'48"	27.05'	S25°39'08"W	54.00'
C48	134.00'	275.00'	27°58'08"	68.36'	S36°10'17"W	132.68'
C49	109.64'	225.00'	27°55'08"	55.93'	S36°10'17"W	108.56'
C50	193.60'	125.00'	88°44'23"	122.28'	S22°08'28"E	174.82'
C51	271.04'	175.00'	88°44'23"	171.19'	S22°08'28"E	244.75'
C52	249.40'	1300.00'	10°59'31"	125.08'	N45°33'02"W	249.01'
C53	72.97'	1285.00'	03°15'12"	38.49'	S42°08'35"E	72.96'

CONCRETE MONUMENT DATA		
No.	NORTHING	EASTING
1	11716.4556	21688.6951
2	11162.6388	21255.0031
3	11257.0298	21225.2824
4	11923.5999	21497.4667
5	11877.7507	21202.2248
6	11359.3073	20990.5258
7	11532.4570	20784.7090
8	12050.9004	20996.4079
9	12372.3214	20962.3916
10	11559.1861	20630.3513
11	11288.8163	20542.9719
12	11098.6301	20983.2535
13	12383.2525	21085.7235
14	12619.8424	21238.1331

CONCRETE MONUMENT CONTROL		
No.	BEARING	DISTANCE
1-2	S31°17'51"W	648.13'
2-3	N53°19'07"W	158.01'
3-4	N22°12'43"E	720.00'
4-5	S81°10'22"W	298.78'
5-6	S22°12'43"W	560.00'
6-7	N49°55'36"W	268.96'
7-8	N22°12'43"E	560.00'
8-9	N08°02'28"W	323.22'
9-10	S22°12'43"W	878.34'
10-11	S17°58'25"W	283.17'
11-12	S66°31'40"E	480.00'
12-13	N04°33'38"E	1288.70'
13-14	N32°57'37"E	261.97'
14-1	S26°27'24"E	1009.07'



REVISION	BY	DATE	APP'D	SCALE
4	C.A.S.	03/01/07		1" = 50'
3	REVISOR	03/01/07		
2	REVISOR	03/01/07		
1	REVISOR	03/01/07		

DAVIS, RENN & ASSOCIATES, INC.

ENGINEERS ARCHITECTS PLANNERS SURVEYORS

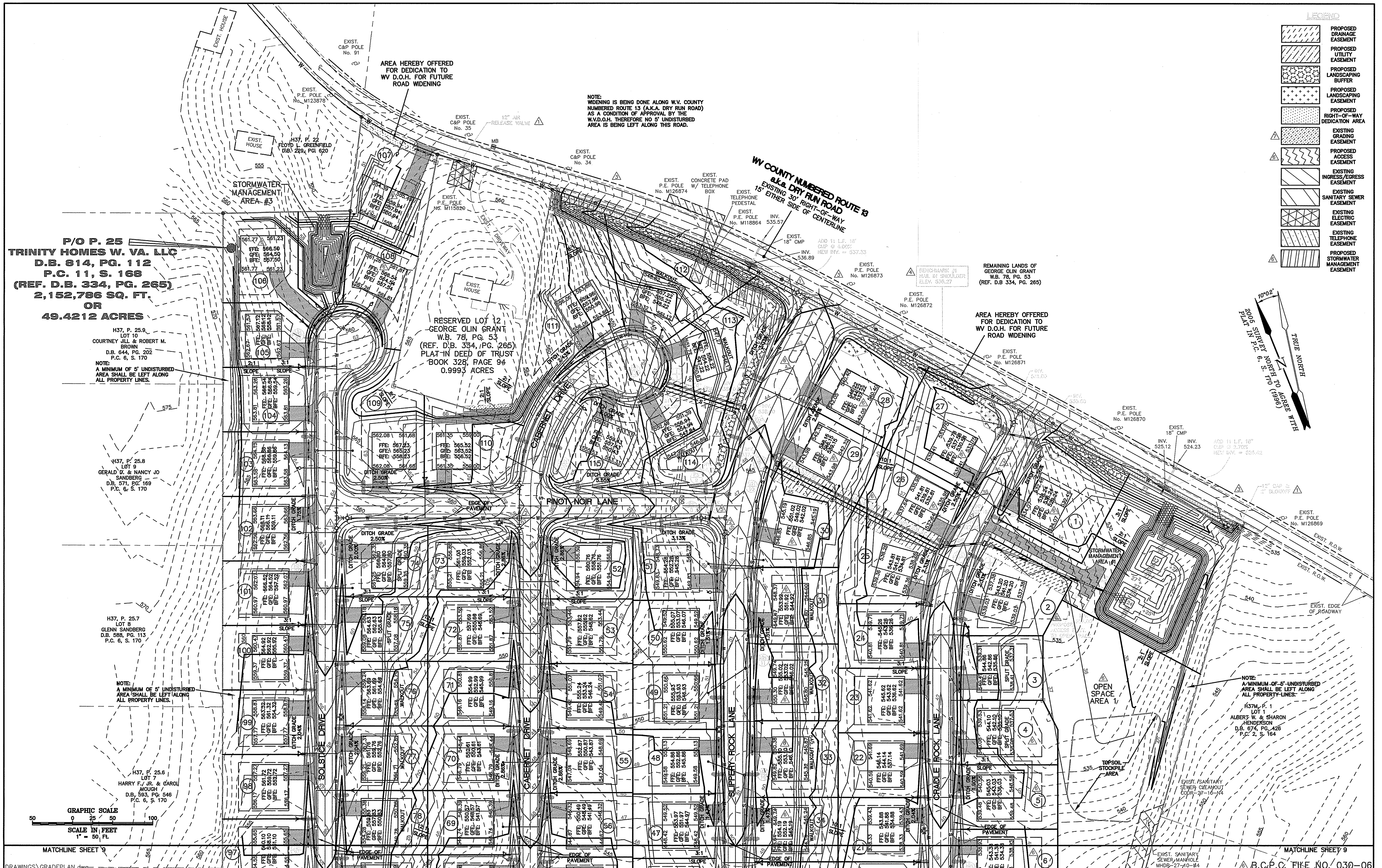
P.O. BOX 246 HAGERSTOWN, MARYLAND 21741 TELEPHONE 301-739-5660

PRELIMINARY PLAT FOR SUNDANCE VALLEY

SHEET NO. 7 OF 34
PROJECT NO. 051024
FILE NO. B-1724

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKLEY COUNTY, WEST VIRGINIA

▲ B.C.P.C. FILE NO. 030-06



P/O P. 25
TRINITY HOMES W. VA. LLC
D.B. 814, PG. 112
P.C. 11, S. 168
(REF. D.B. 334, PG. 265)
2,152,786 SQ. FT.
OR
49.4212 ACRES

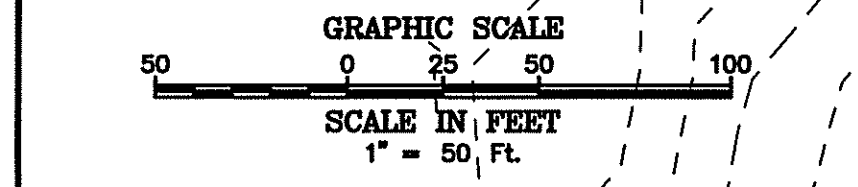
H37, P. 25.9
 LOT 10
 COURTNEY JILL & ROBERT M. BROWN
 D.B. 644, PG. 202
 P.C. 6, S. 170
 NOTE:
 A MINIMUM OF 5' UNDISTURBED AREA SHALL BE LEFT ALONG ALL PROPERTY LINES.

H37, P. 25.8
 LOT 9
 GERALD D. & NANCY JO SANDBERG
 D.B. 571, PG. 169
 P.C. 6, S. 170

H37, P. 25.7
 LOT 7
 GLENN SANDBERG
 D.B. 588, PG. 113
 P.C. 6, S. 170

NOTE:
 A MINIMUM OF 5' UNDISTURBED AREA SHALL BE LEFT ALONG ALL PROPERTY LINES.

H37, P. 25.6
 LOT 7
 HARRY F.J. JR. & CAROL MOUGH
 D.B. 593, PG. 546
 P.C. 6, S. 170



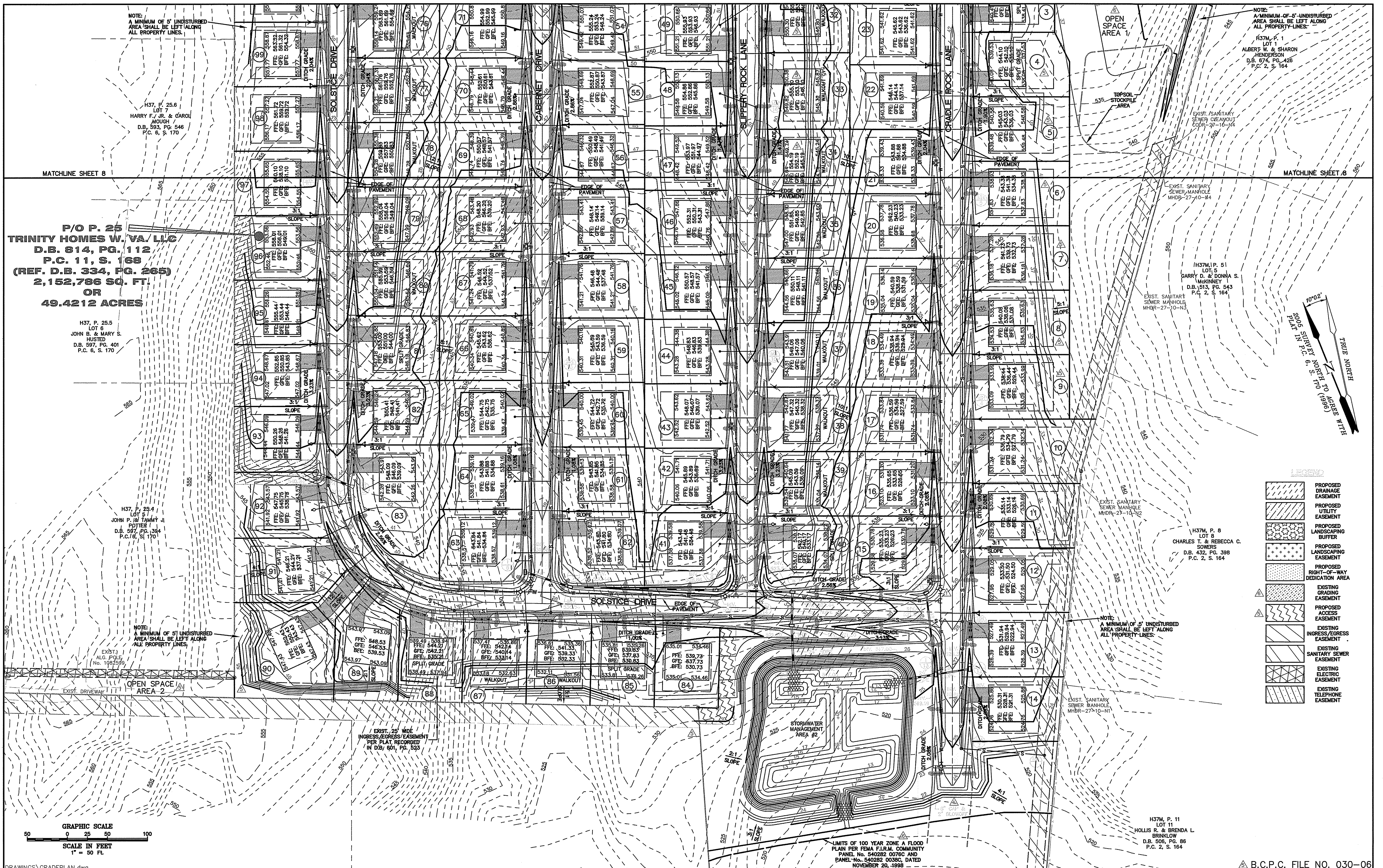
MATCHLINE SHEET 9

NO.	REVISION	BY	DATE	APP'D	SCALE
1	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	03/25/08		1" = 50'
2	REV. PER S.H.A. COMMENTS	R.A.G.	01/09/08		
3	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08		
4	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	10/04/07		
5	REVISED PER B.C.P.C. COMMENTS	C.A.S.	06/17/08		
6	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07		
7	REVISED PER IN-HOUSE REVIEW	C.A.S.	05/05/08		

DAVIS, RENN & ASSOCIATES, INC.
 ENGINEERS ARCHITECTS PLANNERS SURVEYORS
 P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
 TELEPHONE 301-739-5660

GRADING PLAN
 FOR
SUNDANCE VALLEY
 SHEET NO. 8 OF 34
 PROJECT NO. 051024
 FILE NO. B-1724
 TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

DRAWINGS\GRADEPLAN.dwg
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NO.	REVISION	BY	DATE	APP'D
9	REVISED PER B.C.P.S.D. COMMENTS	C.A.S.	03/25/08	
8	REV. PER S.H.A. COMMENTS	R.A.G.	01/09/08	
7	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	10/04/07	
6	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08	
5	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07	
4	REVISED PER B.C.P.C. COMMENTS	C.A.S.	06/17/08	

DAVIS, RENN & ASSOCIATES, INC.

ENGINEERS ARCHITECTS PLANNERS SURVEYORS

P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
TELEPHONE 301-739-5660

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

GRADING PLAN FOR SUNDANCE VALLEY

DATE: 03/01/07
CHECKED BY: S.C.C.
DATE: 03/01/07
APPROVED BY: M.E.R.
DATE: 03/01/07

SCALE: 1" = 50'

SHEET NO. 9 OF 34
PROJECT NO. 051024
FILE NO. B-1724

△ B.C.P.C. FILE NO. 030-06

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NOTE: FOR DRIVEWAY CULVERT INFORMATION AND DRIVEWAY SLOPES, SEE SHEET 32.

- PROPOSED DRAINAGE EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED LANDSCAPING BUFFER
- PROPOSED LANDSCAPING EASEMENT
- PROPOSED RIGHT-OF-WAY DEDICATION AREA
- EXISTING GRADING EASEMENT
- PROPOSED ACCESS EASEMENT
- EXISTING INGRESS/EGRESS EASEMENT
- EXISTING SANITARY EASEMENT
- EXISTING ELECTRIC EASEMENT
- EXISTING TELEPHONE EASEMENT
- PROPOSED STORMWATER EASEMENT



**P/O P. 25
TRINITY HOMES W. VA. LLC
D.B. 814, PG. 112
P.C. 11, S. 168
(REF. D.B. 334, PG. 265)
2,152,786 SQ. FT.
OR
49.4212 ACRES**

GRAPHIC SCALE
SCALE IN FEET
1" = 50 FT.

No.	REVISION	BY	DATE	APP'D	SCALE
9	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08		1" = 50'
8	REVISED PER B.C.P.C. COMMENTS	C.A.S.	06/17/08		
7	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	03/25/08		
6	RFEV. PER S.H.A. COMMENTS	R.A.G.	01/09/08		

DAVIS, RENN & ASSOCIATES, INC.
ENGINEERS ARCHITECTS PLANNERS SURVEYORS
P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
TELEPHONE 301-739-5660

FINAL LOT GRADING PLAN FOR SUNDANCE VALLEY
SHEET NO. 10 OF 34
PROJECT NO. 051024
FILE NO. B-1724
DRAWINGS/LOT-GRADE.dwg
MATCHLINE SHEET 11
MATCHLINE SHEET 11
B.C.P.C. FILE NO. 030-06
REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

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NOTE:
A MINIMUM OF 5' UNDISTURBED
AREA SHALL BE LEFT ALONG
ALL PROPERTY LINES.

NOTE:
A MINIMUM OF 5' UNDISTURBED
AREA SHALL BE LEFT ALONG
ALL PROPERTY LINES.

H37, P. 25.6
LOT 7
HARRY F. & CAROL
MOUGH
D.B. 593, PG. 546
P.C. 2, S. 170

H37M, P. 1
LOT 1
ALBERT W. & SHARON
HENDERSON
D.B. 574, PG. 426
P.C. 2, S. 164

H37, P. 25.6
LOT 6
JOHN B. & MARY S.
HUSTED
D.B. 597, PG. 401
P.C. 6, S. 170

H37M, P. 5
LOT 5
BARRY D. & DONNA S.
MCKINNEY
D.B. 513, PG. 543
P.C. 2, S. 164

H37, P. 25.4
LOT 5
JOHN P. & TAMMY J.
POTTER
D.B. 597, PG. 394
P.C. 16, S. 170

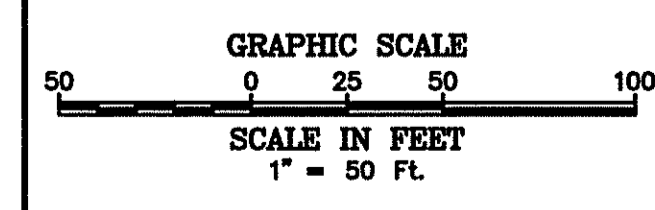
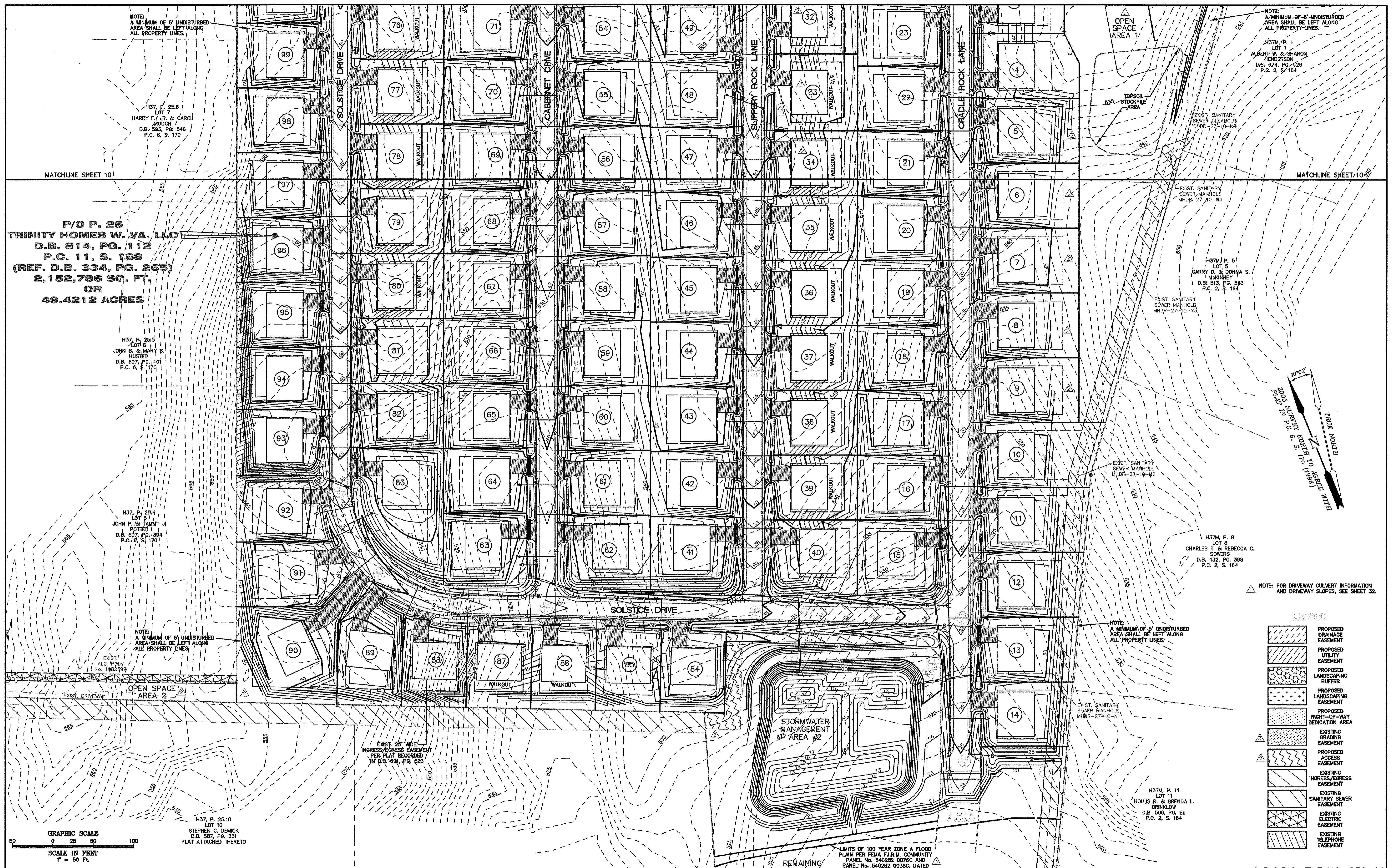
H37M, P. 8
LOT 8
CHARLES T. & REBECCA C.
SOWERS
D.B. 432, PG. 398
P.C. 2, S. 164

NOTE:
A MINIMUM OF 5' UNDISTURBED
AREA SHALL BE LEFT ALONG
ALL PROPERTY LINES.

NOTE: FOR DRIVEWAY CULVERT INFORMATION
AND DRIVEWAY SLOPES, SEE SHEET 32.

H37, P. 25.10
LOT 10
STEPHEN C. DEMICK
D.B. 587, PG. 331
PLAT ATTACHED THERETO

H37M, P. 11
LOT 11
HOLLIS R. & BRENDA L.
BRINKLOW
D.B. 506, PG. 86
P.C. 2, S. 164



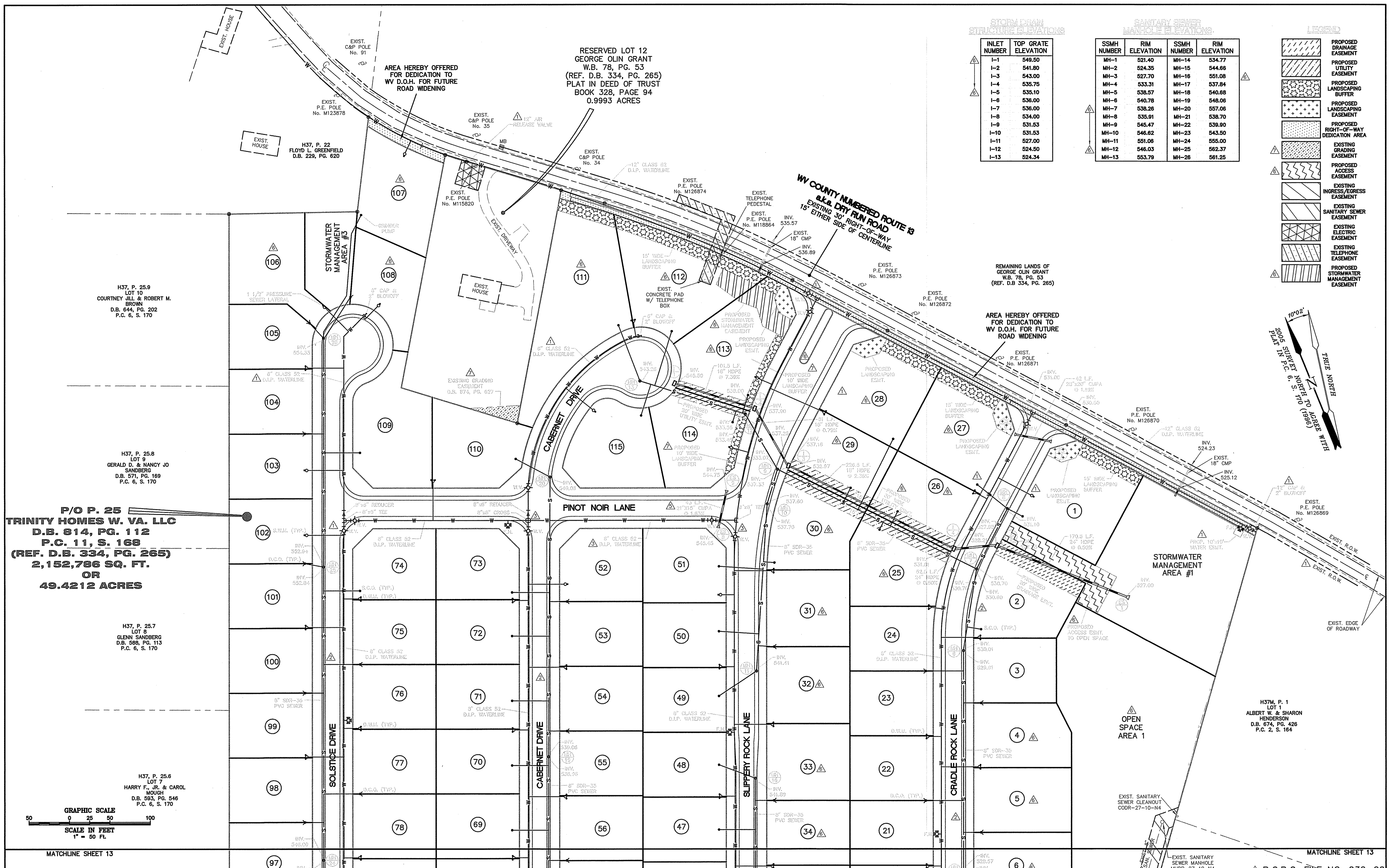
- PROPOSED DRAINAGE EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED LANDSCAPING BUFFER
- PROPOSED LANDSCAPING EASEMENT
- PROPOSED RIGHT-OF-WAY DEDICATION AREA
- EXISTING GRADING EASEMENT
- PROPOSED ACCESS EASEMENT
- EXISTING INGRESS/EGRESS EASEMENT
- EXISTING SANITARY SEWER EASEMENT
- EXISTING ELECTRIC EASEMENT
- EXISTING TELEPHONE EASEMENT

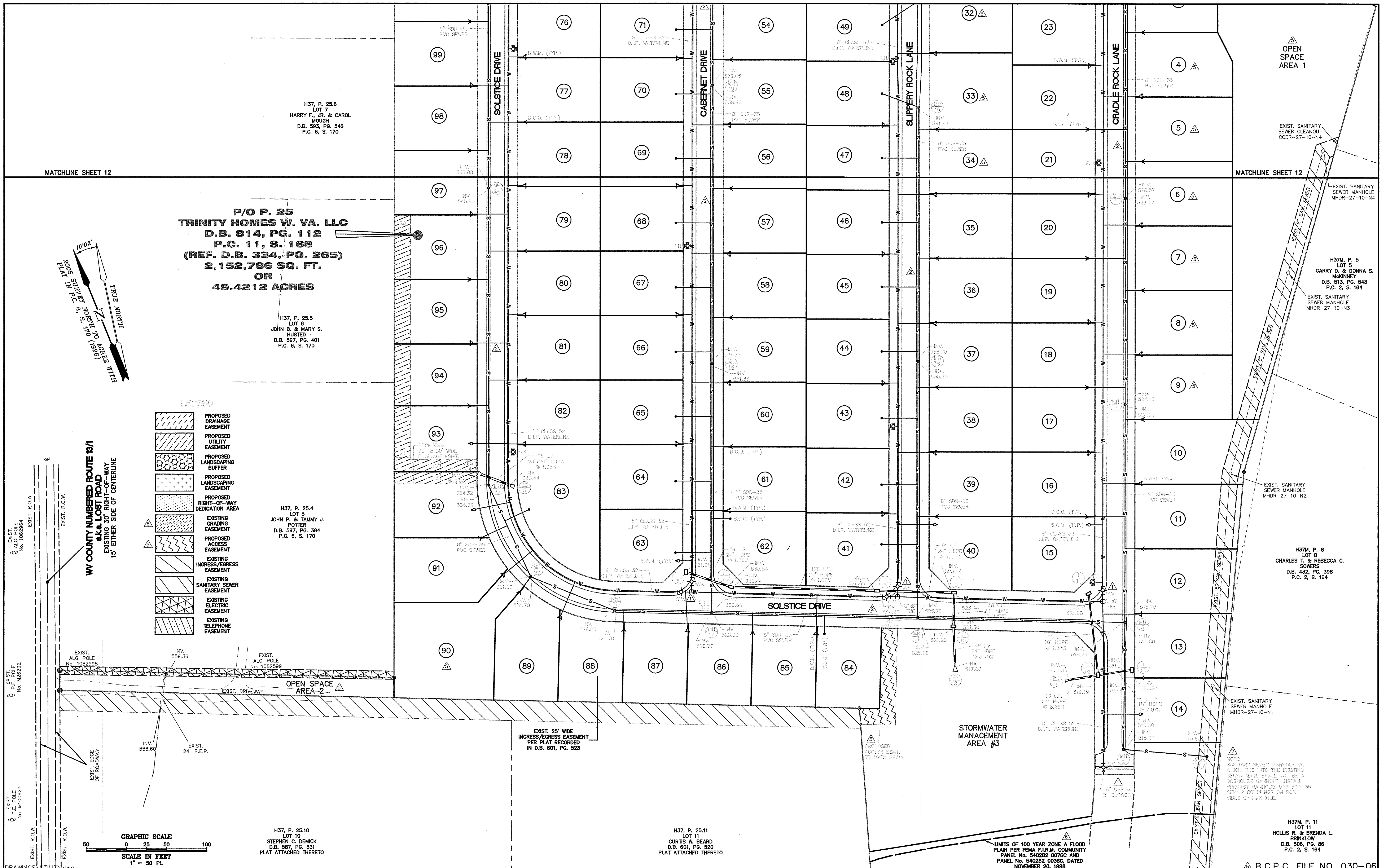
NO.	REVISION	BY	DATE	APP'D	SCALE
9					
8	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08		
7	REVISED PER B.C.P.C. COMMENTS	C.A.S.	06/17/08		
6	REVISED PER B.C.P.S.D. COMMENTS	C.A.S.	03/25/08		
5					

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 P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
 TELEPHONE 301-739-5660

FINAL LOT GRADING PLAN FOR SUNDANCE VALLEY
 SHEET NO. 11 OF 34
 PROJECT NO. 051024
 FILE NO. B-1724
 B.C.P.C. FILE NO. 030-06
 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

H:\10\50925 Sundance Valley\Correspondence\Email In\2010-10-22-plans\DRAWINGS\10-11-LOT-GRADE.dwg, 10/23/2010 1:13:52 PM





9									
8									
7									
6	REVISOR	DATE	BY	DATE	APP'D	SCALE	1" = 50'		
5	REVISOR	DATE	BY	DATE	APP'D	SCALE	1" = 50'		
4	REVISOR	DATE	BY	DATE	APP'D	SCALE	1" = 50'		
3	REVISOR	DATE	BY	DATE	APP'D	SCALE	1" = 50'		
2	REVISOR	DATE	BY	DATE	APP'D	SCALE	1" = 50'		
1	REVISOR	DATE	BY	DATE	APP'D	SCALE	1" = 50'		

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 TELEPHONE 301-739-5660

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

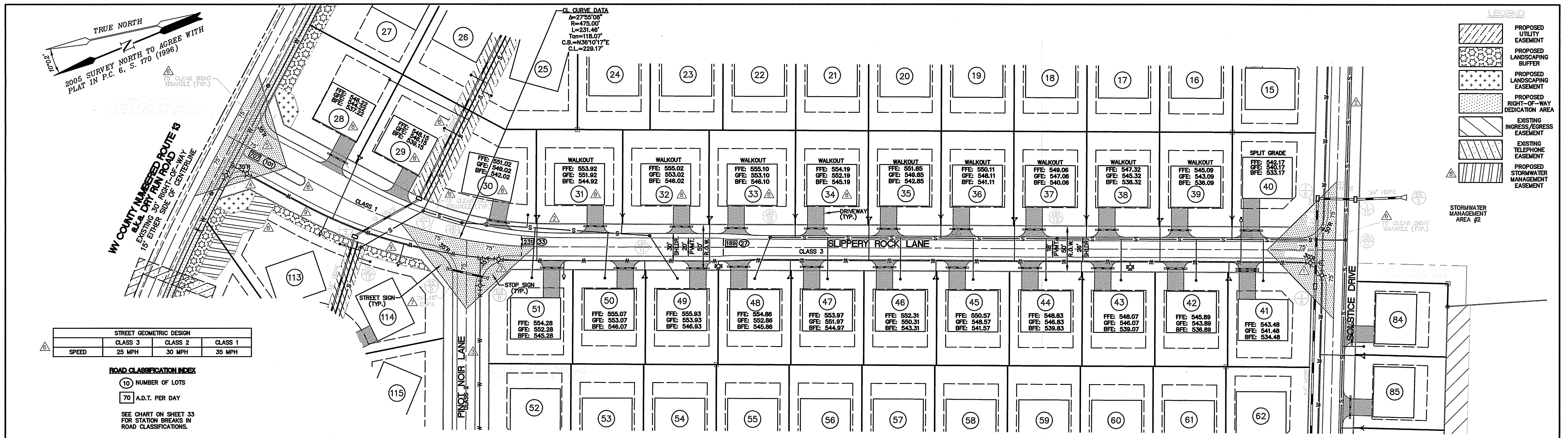
UTILITY PLAN FOR SUNDANCE VALLEY

LIMITS OF 100 YEAR ZONE A FLOOD PLAIN PER FEMA F.I.R.M. COMMUNITY PANEL No. 540282 0076C AND PANEL No. 540282 0038C, DATED NOVEMBER 20, 1998

B.C.P.C. FILE NO. 030-06

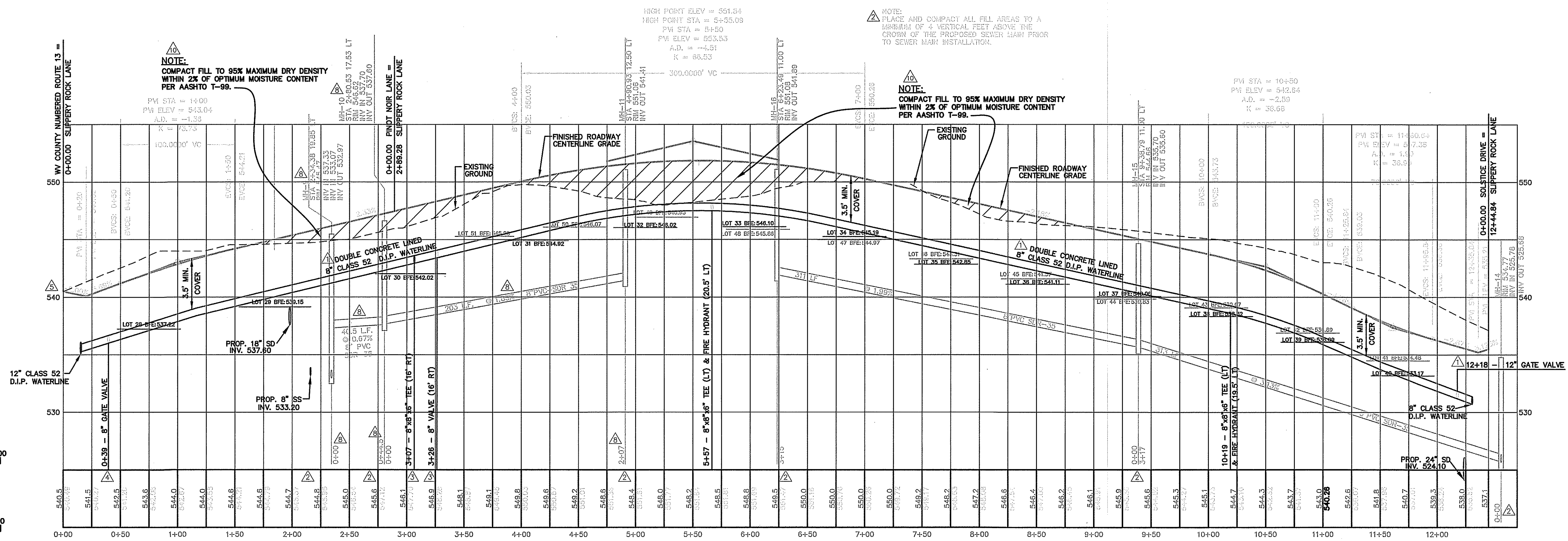
SHEET NO. 13 OF 34
 PROJECT NO. 051024
 FILE NO. B-1724

H:\18\5925 Sundance Valley\Correspondence\Email\in\2018-10-22\plans\DRAWINGS\UTILITY.dwg - 10/23/2018 1:52:37 PM



PLAN - SLIPPERY ROCK LANE

SCALE: 1" = 50'
 STA 0+00 TO STA 3+50 - CLASS 1 - DESIGN SPEED 35 M.P.H.
 STA 3+50 TO STA 5+72 - CLASS 2 - DESIGN SPEED 30 M.P.H.
 STA 5+72 TO STA END - CLASS 3 - DESIGN SPEED 25 M.P.H.



PROFILE - SLIPPERY ROCK LANE

HORIZ. SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'

DRAWINGS_PP-SLIPPERY

NO.	REVISION	BY	DATE	APP'D
1	REVISED PER B.C.E. COMMENTS	W.J.K.	10/13/08	
2	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08	
3	REVISED PER B.C.P.C. COMMENTS	C.A.S.	06/17/08	
4	REVISED PER IN-HOUSE REVIEW	C.A.S.	05/05/08	
5	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	03/25/08	
6	REV. PER S.H.A. COMMENT	R.A.G.	01/09/08	

NO.	REVISION	BY	DATE	APP'D
1	REVISED PER IN-HOUSE REVIEW	C.A.S.	12/10/07	
2	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	10/04/07	
3	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	05/18/07	
4	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07	

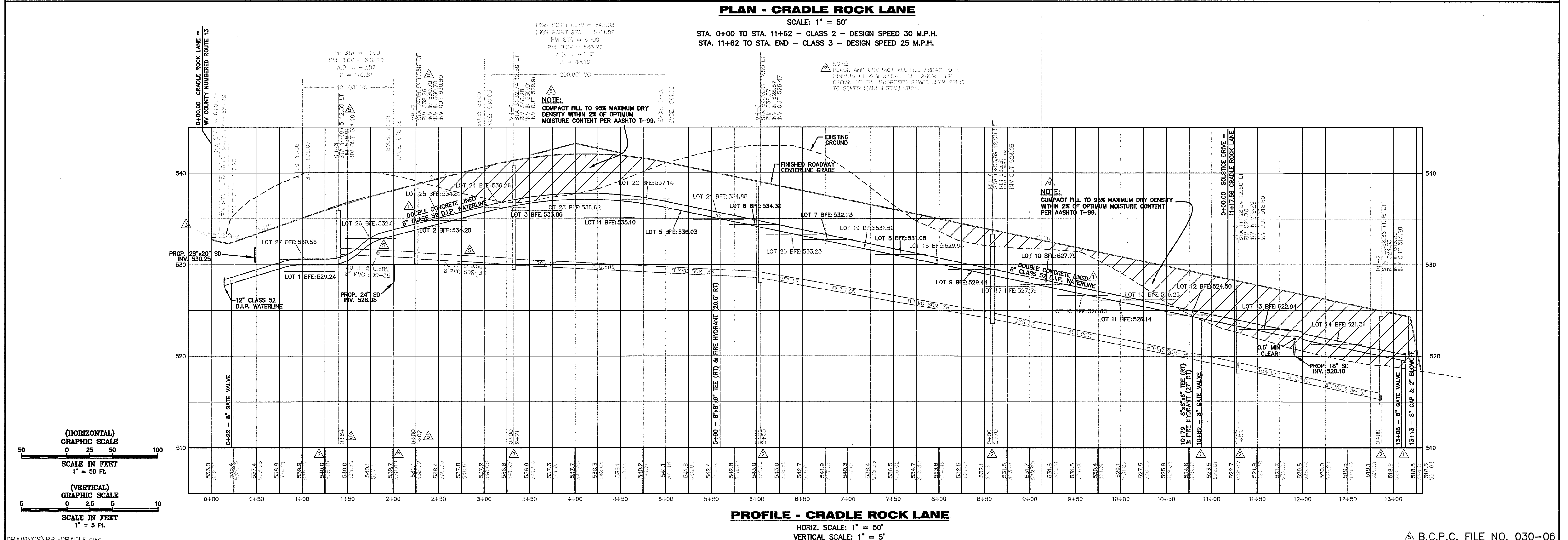
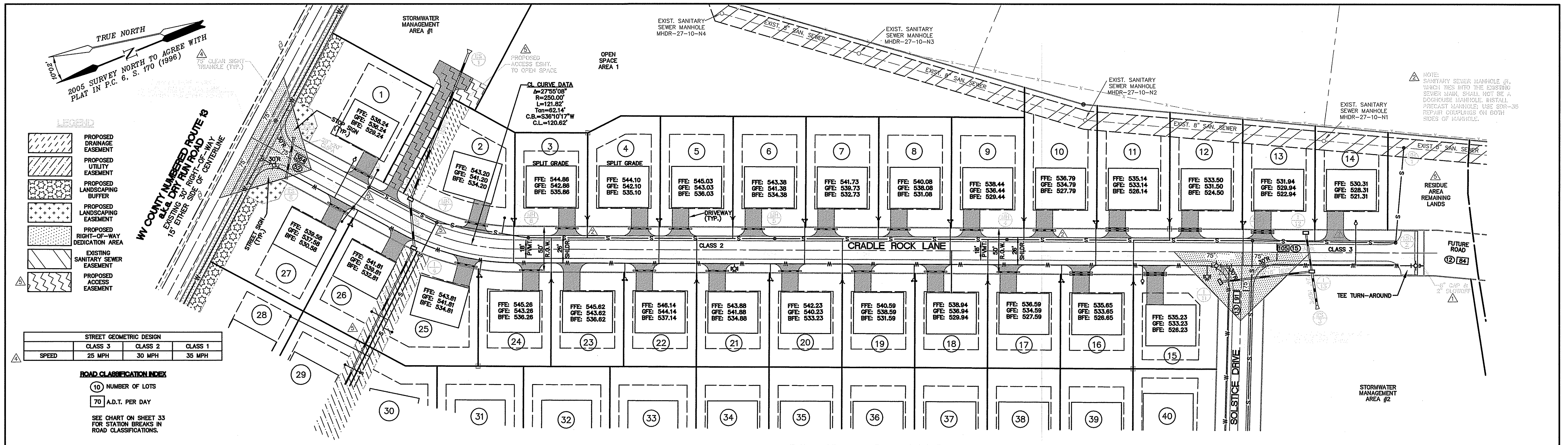
DAVIS, RENN & ASSOCIATES, INC.
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 P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
 TELEPHONE 301-739-5660

SLIPPERY ROCK LANE - PLAN & PROFILE
 FOR
SUNDANCE VALLEY

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

FILE NO. 030-06
 SHEET NO. 14 OF 34
 PROJECT NO. 051024
 FILE NO. B-1724

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DRAWINGS\PP-CRADLE.dwg		REVISED PER B.C.P.S.S.D. COMMENTS		C.A.S.	03/25/08	DRAWN BY	C.A.S.	CRADLE ROCK LANE - PLAN & PROFILE		SHEET NO. 15 OF 34	
		REV. PER S.H.A. COMMENTS		R.A.G.	01/09/08	DATE	03/01/07	FOR		PROJECT NO. 051024	
		REVISED PER B.C.P.S.S.D. COMMENTS		C.A.S.	05/18/07	DATE	03/01/07	SUNDANCE VALLEY		FILE NO. B-1724	
REVISED PER B.C.E. COMMENTS		W.J.K.	10/13/08	C.A.S.	05/11/07	APPROVED BY	M.E.R.	ENGINEERS ARCHITECTS PLANNERS SURVEYORS		REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA	
REVISED PER B.C.P.C. COMMENTS		W.J.K.	06/17/08			SCALE	1" = 50'	P.O. BOX 246 HAGERSTOWN, MARYLAND 21741			

B.C.P.C. FILE NO. 030-06

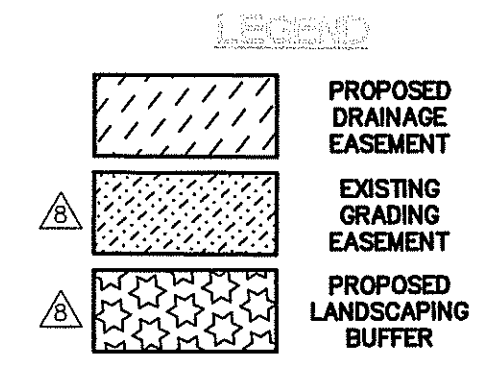
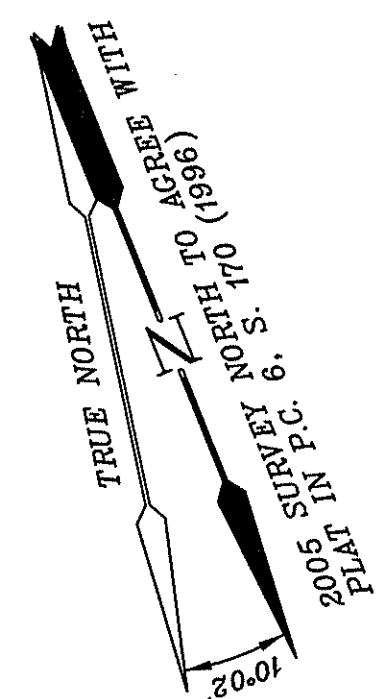
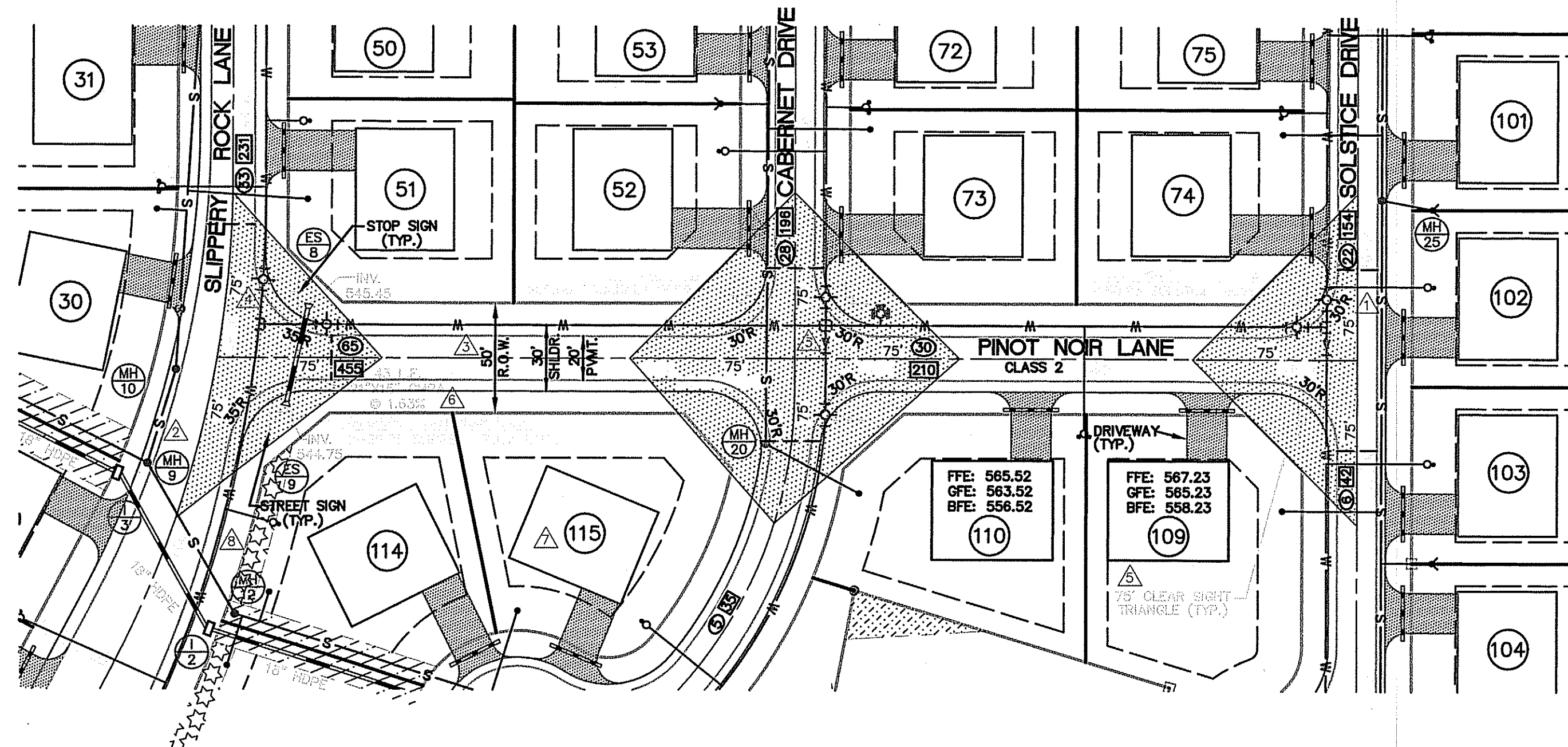
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STREET GEOMETRIC DESIGN		
CLASS 3	CLASS 2	CLASS 1
SPEED	25 MPH	30 MPH
		35 MPH

ROAD CLASSIFICATION INDEX

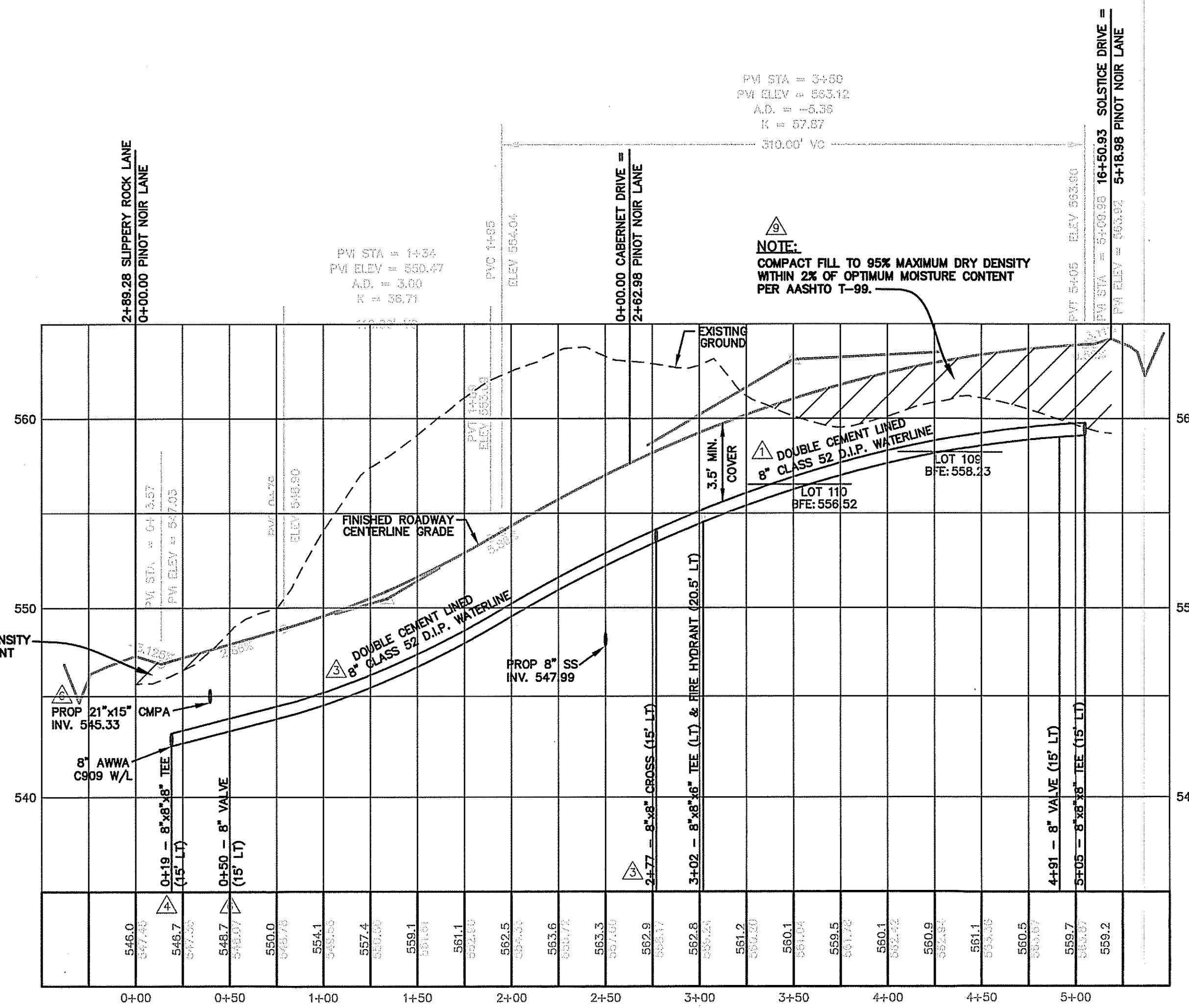
- ⑩ NUMBER OF LOTS
- ⑦⑦ A.D.T. PER DAY

SEE CHART ON SHEET 33 FOR STATION BREAKS IN ROAD CLASSIFICATIONS.



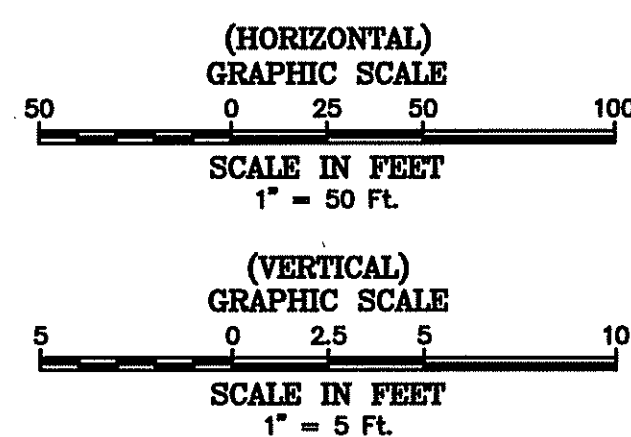
PLAN - PINOT NOIR LANE

SCALE: 1" = 50'
CLASS 2 - DESIGN SPEED 30 M.P.H.



PROFILE - PINOT NOIR LANE

HORIZ. SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



NOTE:
COMPACT FILL TO 95% MAXIMUM DRY DENSITY WITHIN 2% OF OPTIMUM MOISTURE CONTENT PER AASHTO T-99.

NOTE:
COMPACT FILL TO 95% MAXIMUM DRY DENSITY WITHIN 2% OF OPTIMUM MOISTURE CONTENT PER AASHTO T-99.

DRAWINGS\PP-PINOT.dwg		REVISION		BY		DATE		APP'D	
△	REVISED PER B.C.E. COMMENTS	W.J.K.	10/13/08	△	REVISED PER IN-HOUSE REVIEW	C.A.S.	12/10/07	△	SCALE 1" = 50'
△	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08	△	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	10/04/07	△	DATE 03/01/07
△	REVISED PER B.C.P.C. COMMENTS	C.A.S.	05/17/08	△	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	05/18/07	△	CHECKED BY S.C.C.
△	REVISED PER IN-HOUSE REVIEW	C.A.S.	05/05/08	△	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07	△	DATE 03/01/07
△	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	03/25/08	No.				△	APPROVED BY M.E.R.

DAVIS, RENN & ASSOCIATES, INC.

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P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
TELEPHONE 301-739-5660

PINOT NOIR LANE - PLAN & PROFILE
FOR
SUNDANCE VALLEY

TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

△ B.C.P.C. FILE NO. 030-06

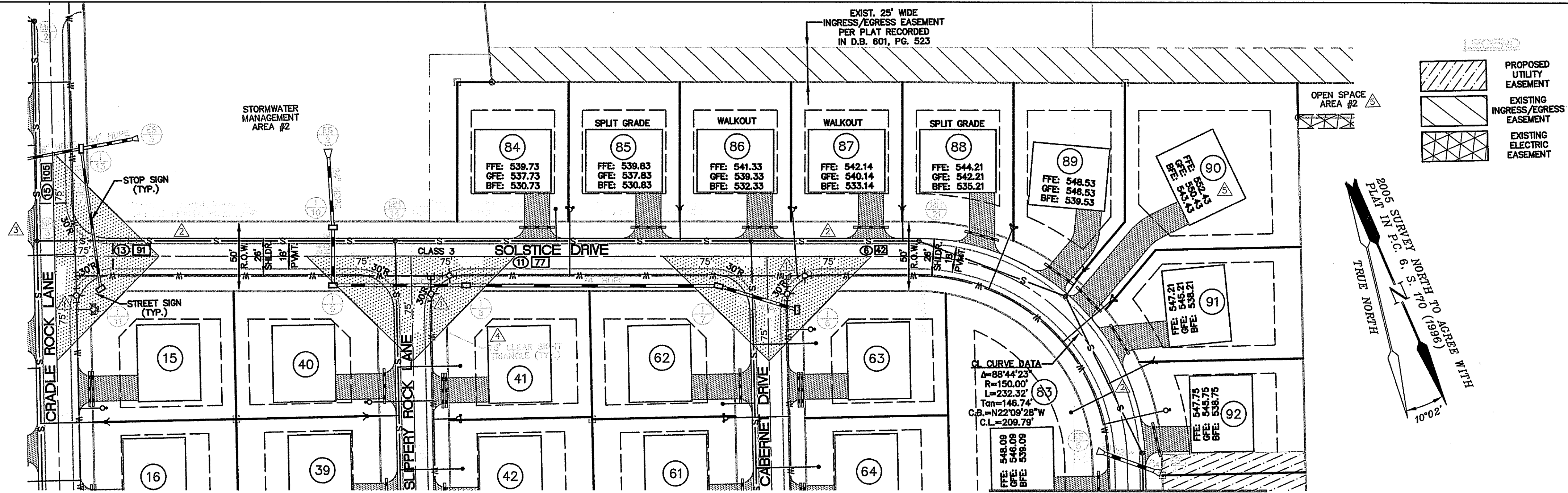
SHEET NO.	17 of 34
PROJECT NO.	051024
FILE NO.	B-1724

STREET GEOMETRIC DESIGN			
CLASS 3	CLASS 2	CLASS 1	
SPEED	25 MPH	30 MPH	35 MPH

ROAD CLASSIFICATION INDEX

- 10 NUMBER OF LOTS
- 70 A.D.T. PER DAY

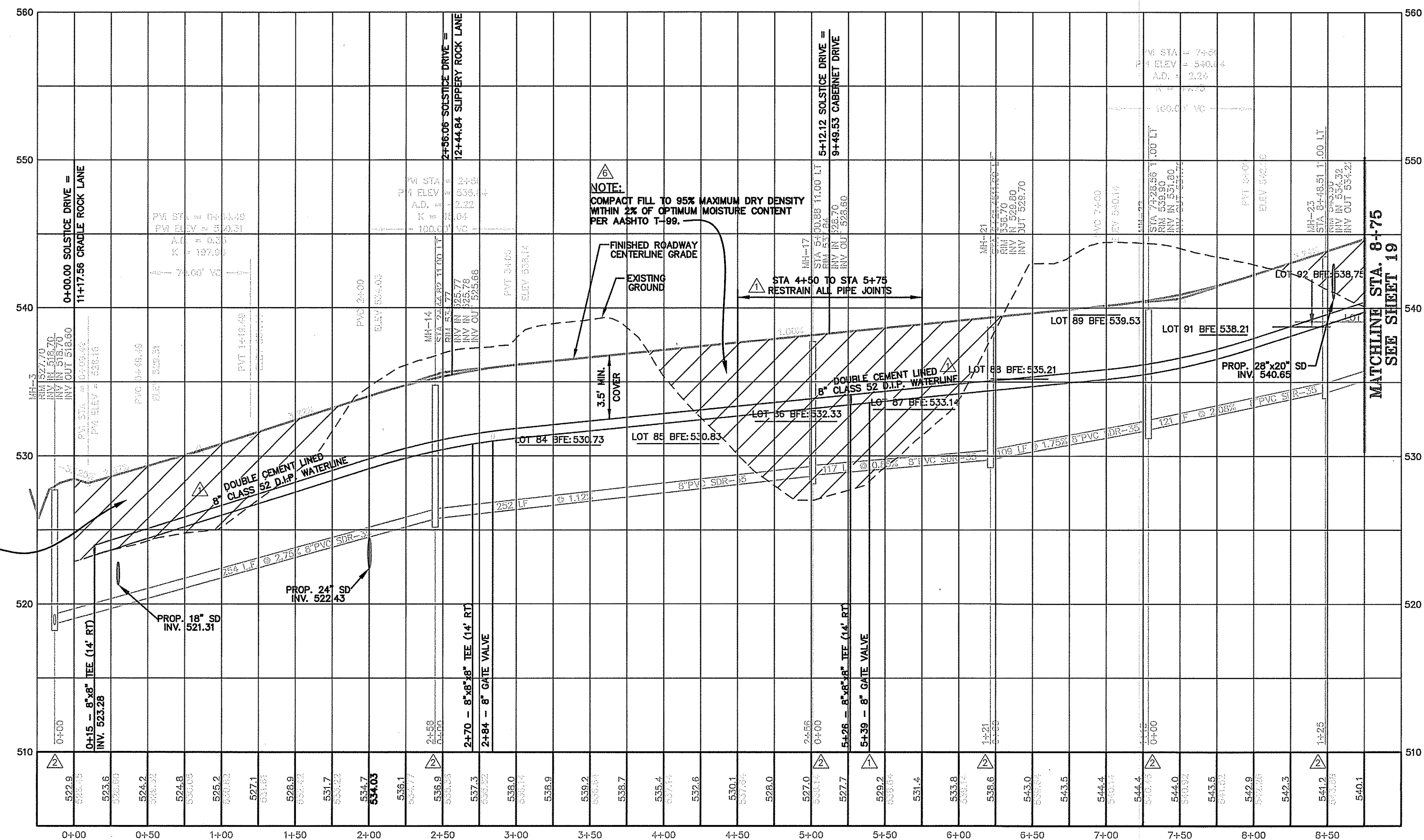
SEE CHART ON SHEET 33 FOR STATION BREAKS IN ROAD CLASSIFICATIONS.



PLAN - SOLSTICE DRIVE

SCALE: 1" = 50'
CLASS 3 - DESIGN SPEED 25 M.P.H.

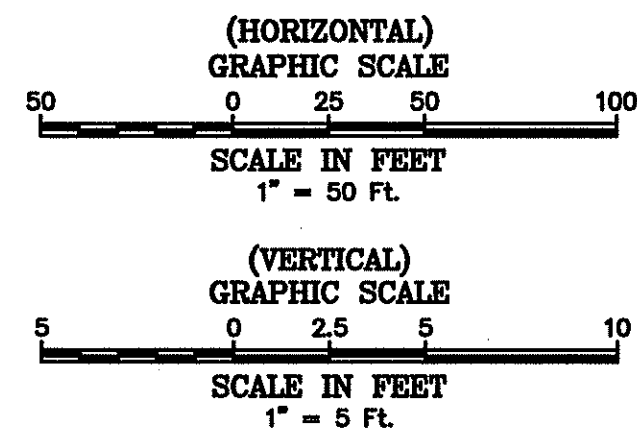
NOTE: PLACE AND COMPACT ALL FILL AREAS TO A MINIMUM OF 4 VERTICAL FEET ABOVE THE CROWN OF THE PROPOSED SEWER MAIN PRIOR TO SEWER MAIN INSTALLATION.



PROFILE - SOLSTICE DRIVE

HORIZ. SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

NOTE: COMPACT FILL TO 95% MAXIMUM DRY DENSITY WITHIN 2% OF OPTIMUM MOISTURE CONTENT PER AASHTO T-99.



DRAWINGS\PP-SOLSTICE.dwg

NO.	REVISION	BY	DATE	APP'D	SCALE
9	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	03/25/08		1" = 50'
8	REVISED PER W.V.D.E.P. COMMENTS	C.A.S.	07/05/07		
7	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	05/18/07		
6	REVISED PER B.C.E. COMMENTS	W.J.K.	10/13/08		
5	REVISED PER B.C.P.C. COMMENTS	C.A.S.	06/17/08		

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TELEPHONE 301-739-5660

SOLSTICE DRIVE - PLAN & PROFILE
FOR
SUNDANCE VALLEY

TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

B.C.P.C. FILE NO. 030-06

SHEET NO.	18 of 34
PROJECT NO.	051024
FILE NO.	B-1724

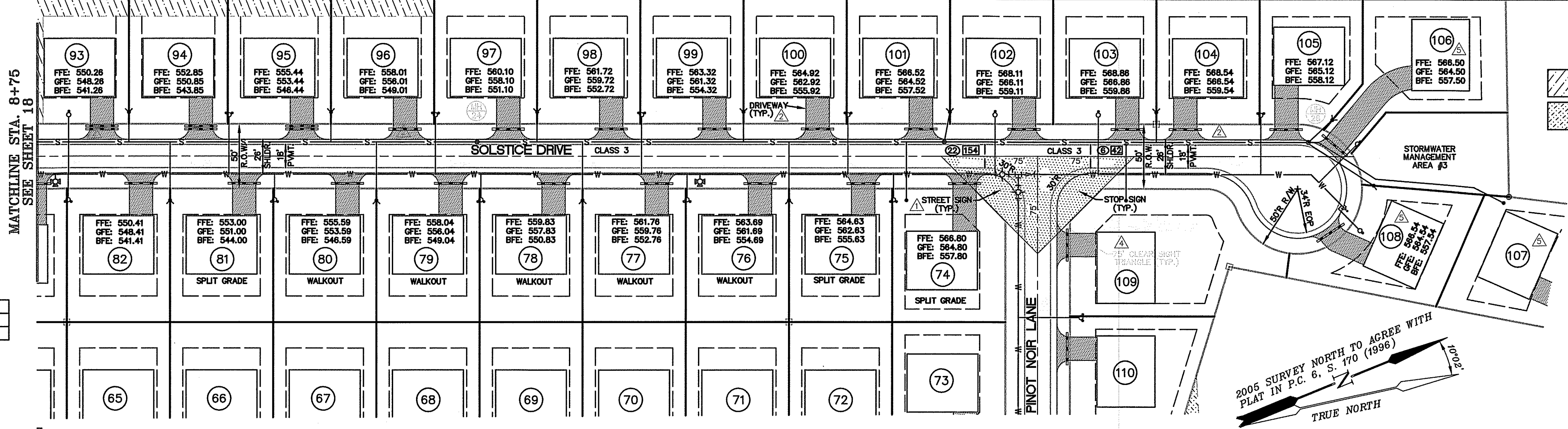
STREET GEOMETRIC DESIGN			
	CLASS 3	CLASS 2	CLASS 1
SPEED	25 MPH	30 MPH	35 MPH

ROAD CLASSIFICATION INDEX

10 NUMBER OF LOTS

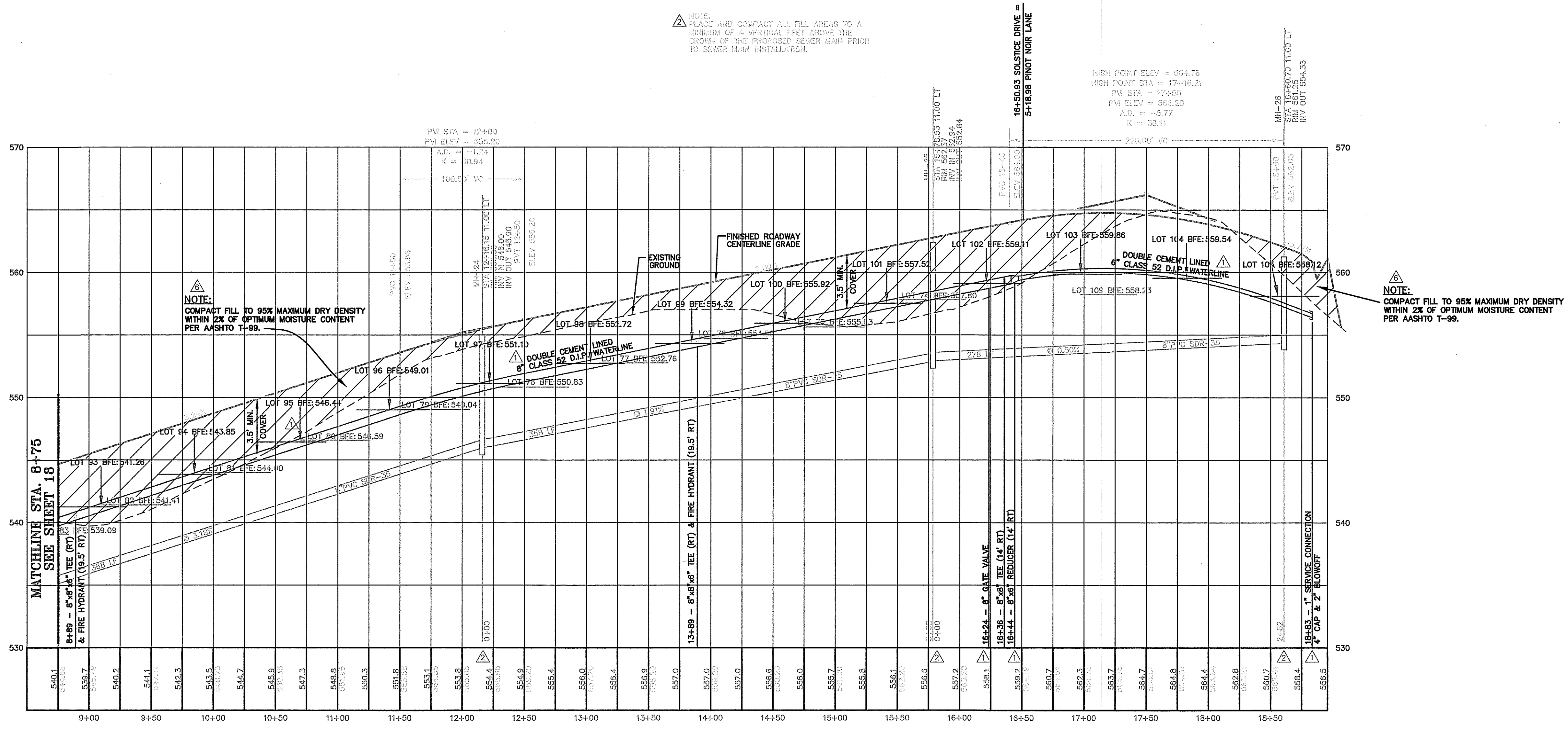
70 A.D.T. PER DAY

SEE CHART ON SHEET 33 FOR STATION BREAKS IN ROAD CLASSIFICATIONS.

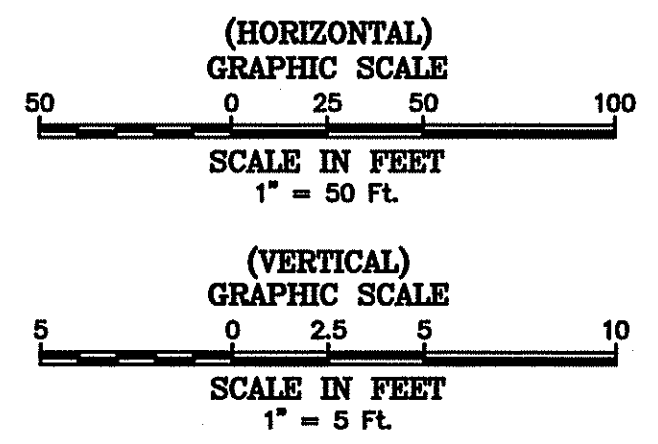


PLAN - SOLSTICE DRIVE
 SCALE: 1" = 50'
 CLASS 3 - DESIGN SPEED 25 M.P.H.

NOTE: PLACE AND COMPACT ALL FILL AREAS TO A MINIMUM OF 4 VERTICAL FEET ABOVE THE CROWN OF THE PROPOSED SEWER MAIN PRIOR TO SEWER MAIN INSTALLATION.



PROFILE - SOLSTICE DRIVE
 HORIZ. SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



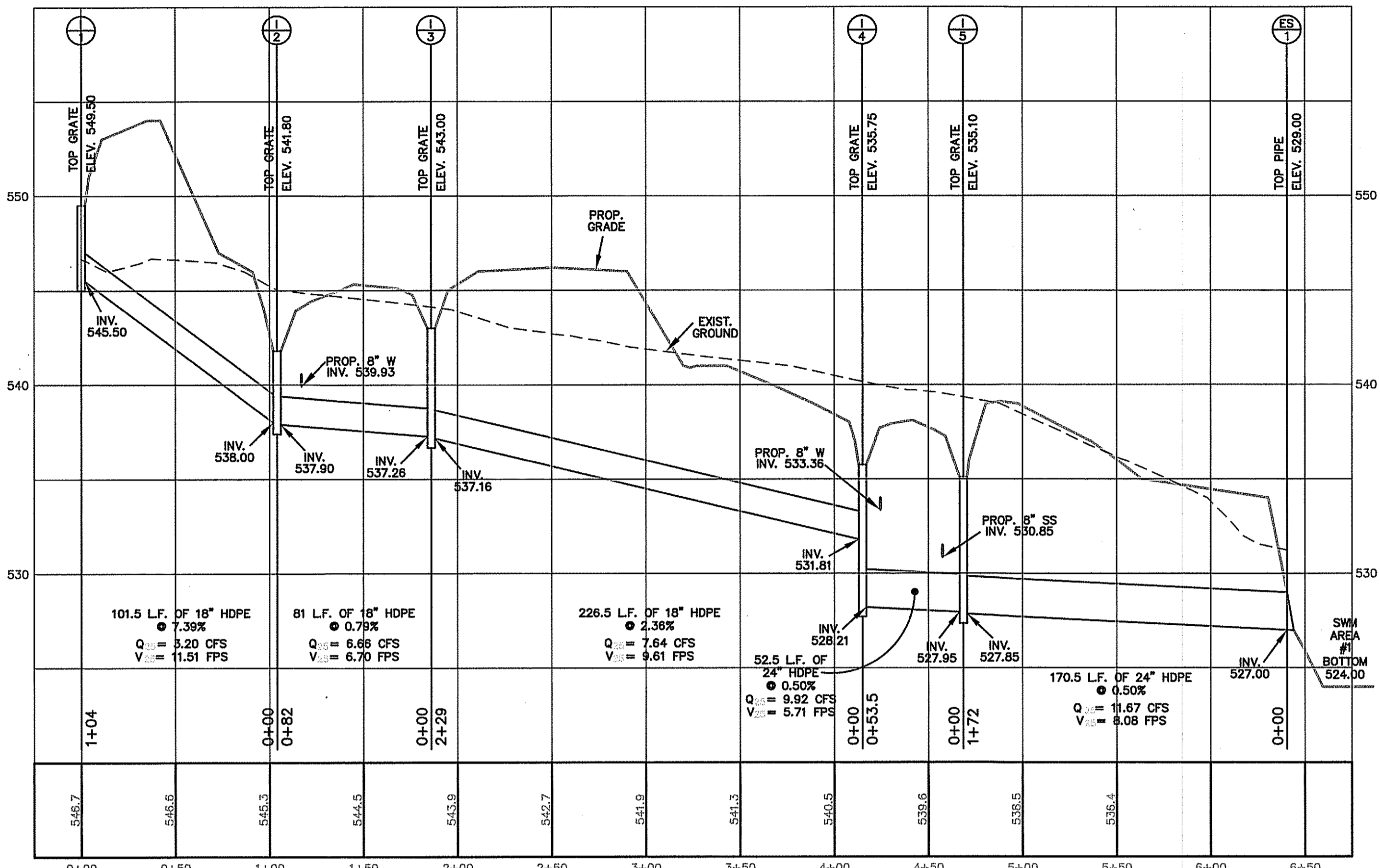
REVISION	BY	DATE	APP'D
REVISD PER B.C.P.S.D. COMMENTS	C.A.S.	03/25/08	
REVISD PER B.C.P.S.W.D. COMMENTS	C.A.S.	10/04/07	
REVISD PER B.C.P.S.D. COMMENTS	C.A.S.	05/18/07	
REVISD PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07	
REVISD PER B.C.E. COMMENTS	W.J.K.	10/13/08	
REVISD PER B.C.P.C. COMMENTS	C.A.S.	05/17/08	

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 P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
 TELEPHONE 301-739-5660

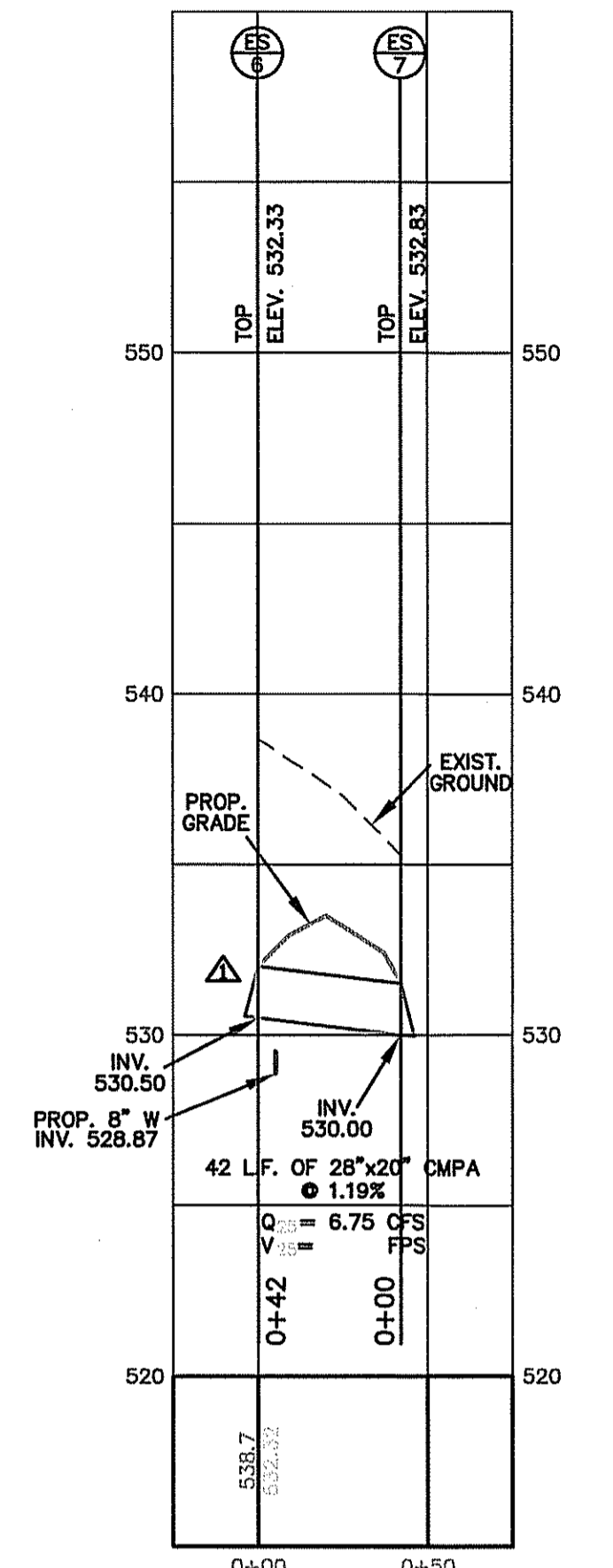
SOLSTICE DRIVE - PLAN & PROFILE
 FOR
SUNDANCE VALLEY

DRAWINGS\PP-SOLSTICE.dwg		A.B.C.P.C. FILE NO. 030-06	
SHEET NO.	19	OF	34
PROJECT NO.	051024		
FILE NO.	B-1724		

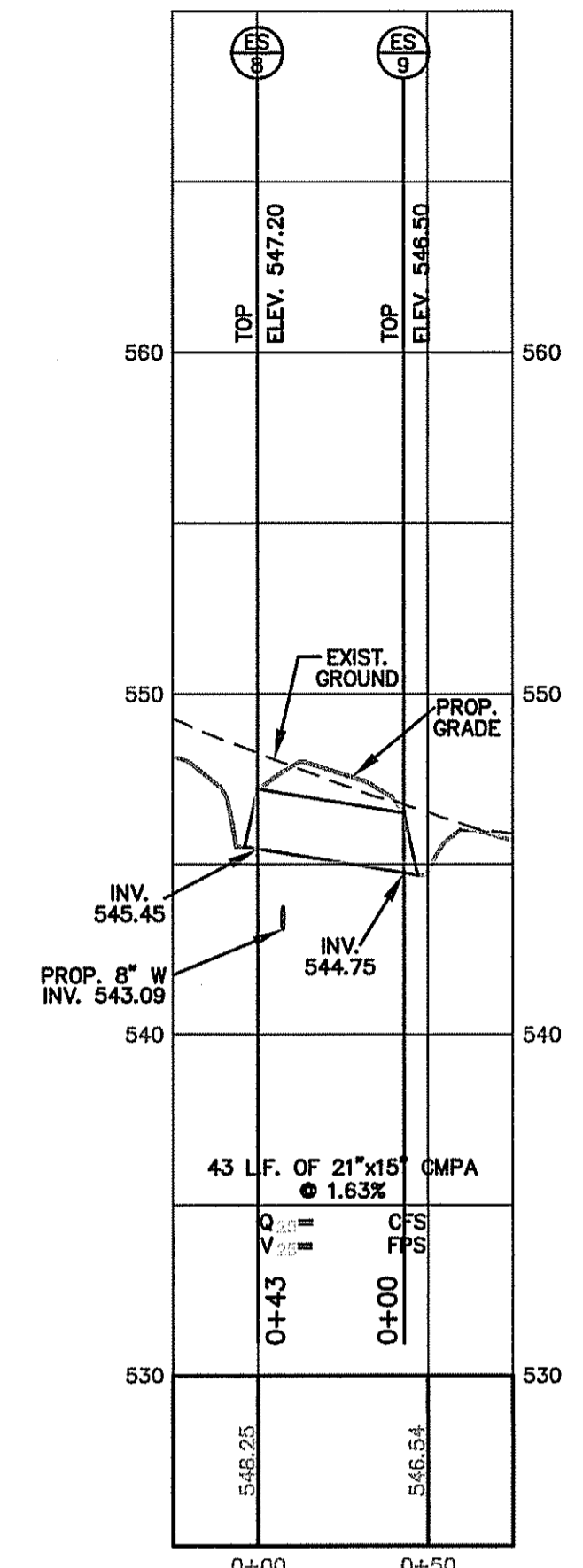
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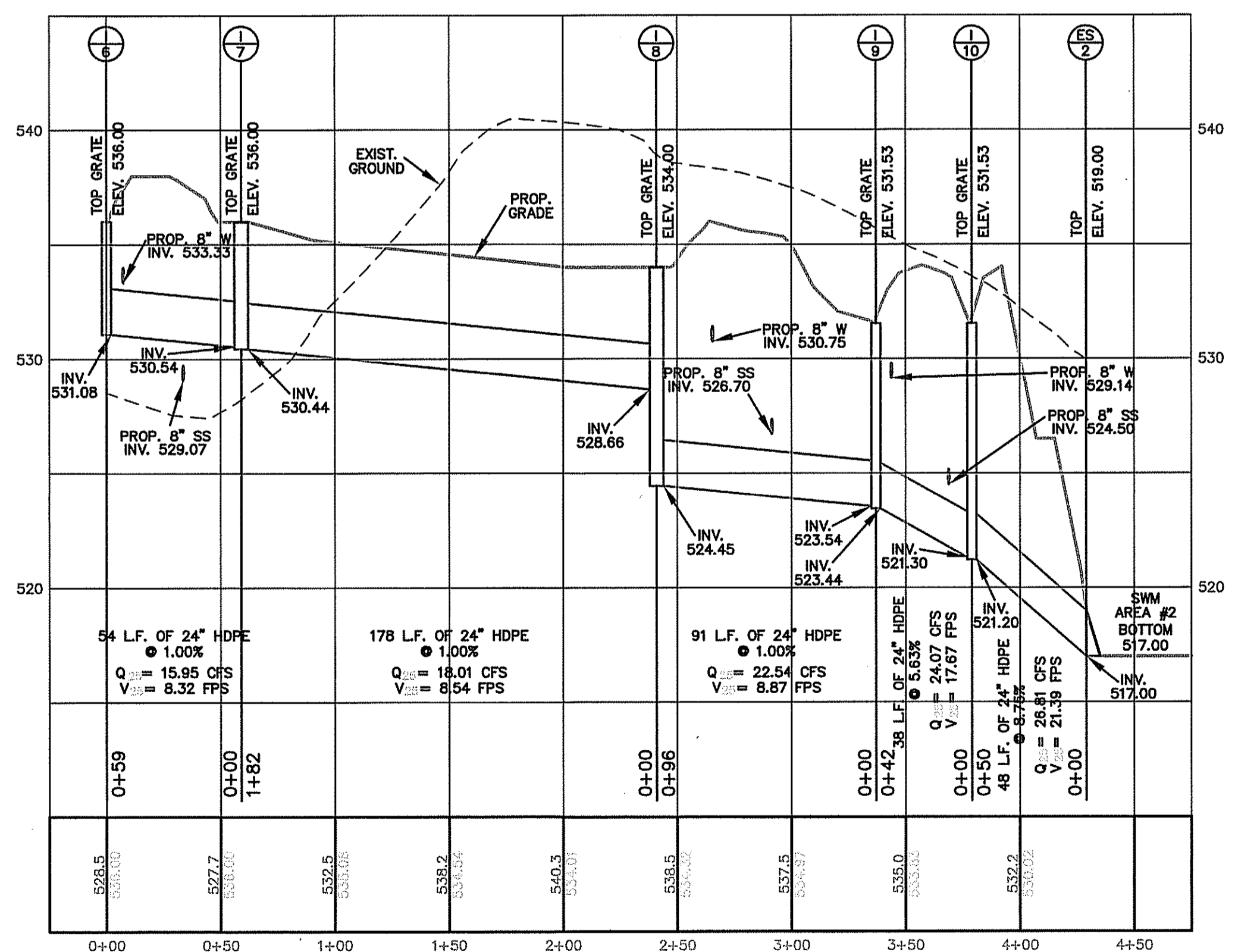
STORM SEWER I-1 TO ES-1
SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.



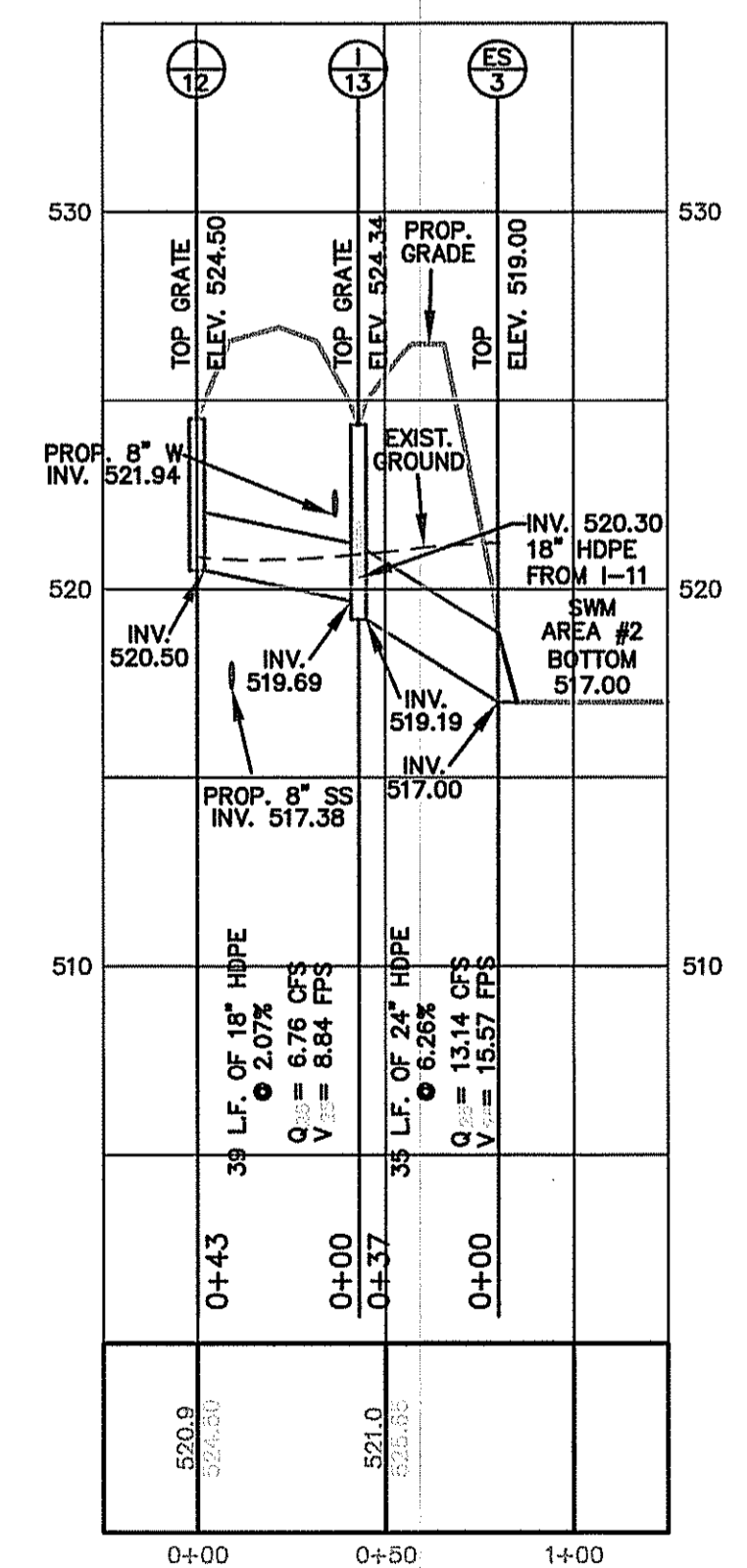
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SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.



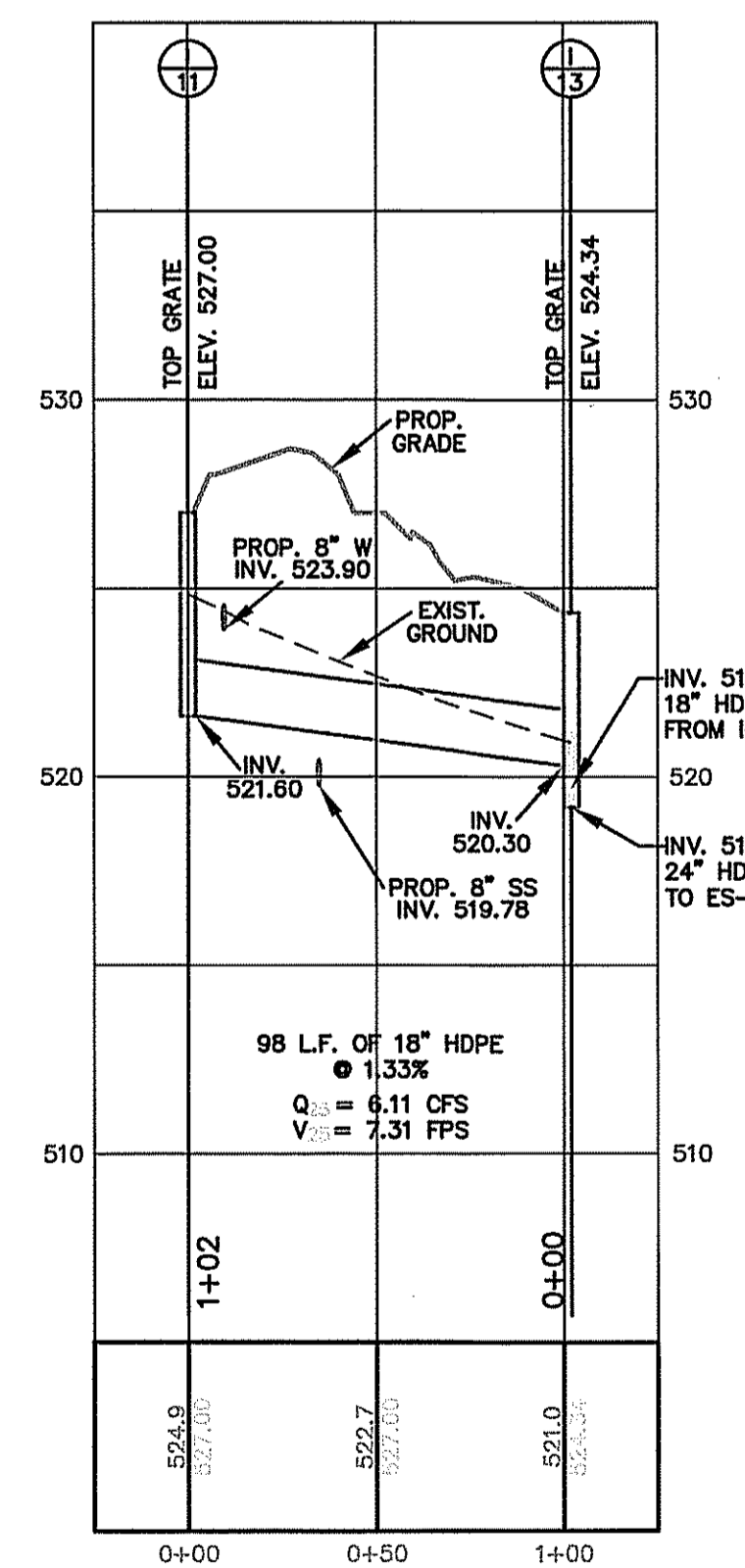
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SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.



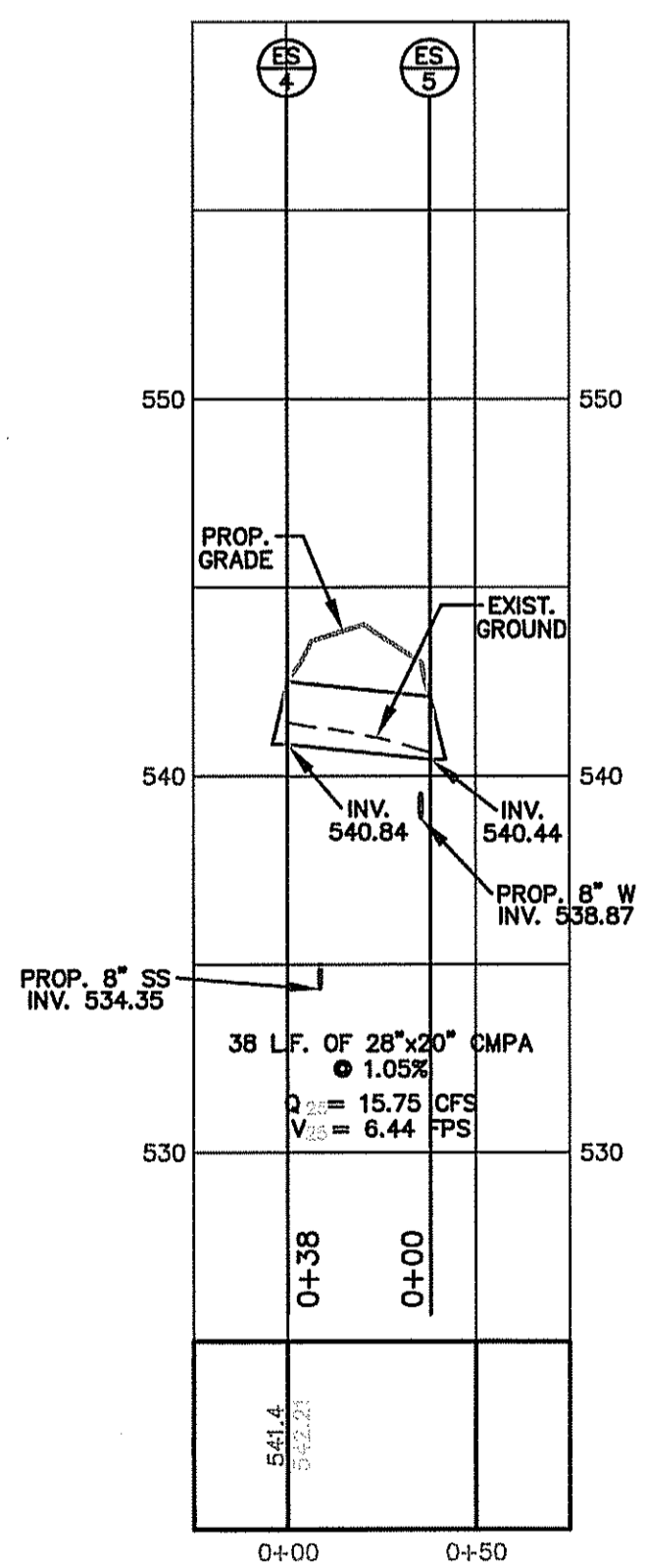
STORM SEWER I-6 TO ES-2
SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.



STORM SEWER I-12 TO ES-3
SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.



STORM SEWER I-11 TO I-13
SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.



STORM SEWER ES-4 TO ES-5
SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.

NO.	REVISION	BY	DATE	APP'D
9				
8	REVISED PER B.C.P.C. COMMENTS	W.J.K.	06/17/08	
7	REV. PER IN-HOUSE REVIEW	C.A.S.	05/13/08	
6	REV. PER S.H.A. COMMENT	R.A.G.	01/09/08	
5				

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P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
TELEPHONE 301-739-5660

STORM SEWER - PROFILE FOR SUNDANCE VALLEY

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

B.C.P.C. FILE NO. 030-06

SHEET NO.	21 of 34
PROJECT NO.	051024
FILE NO.	B-1724

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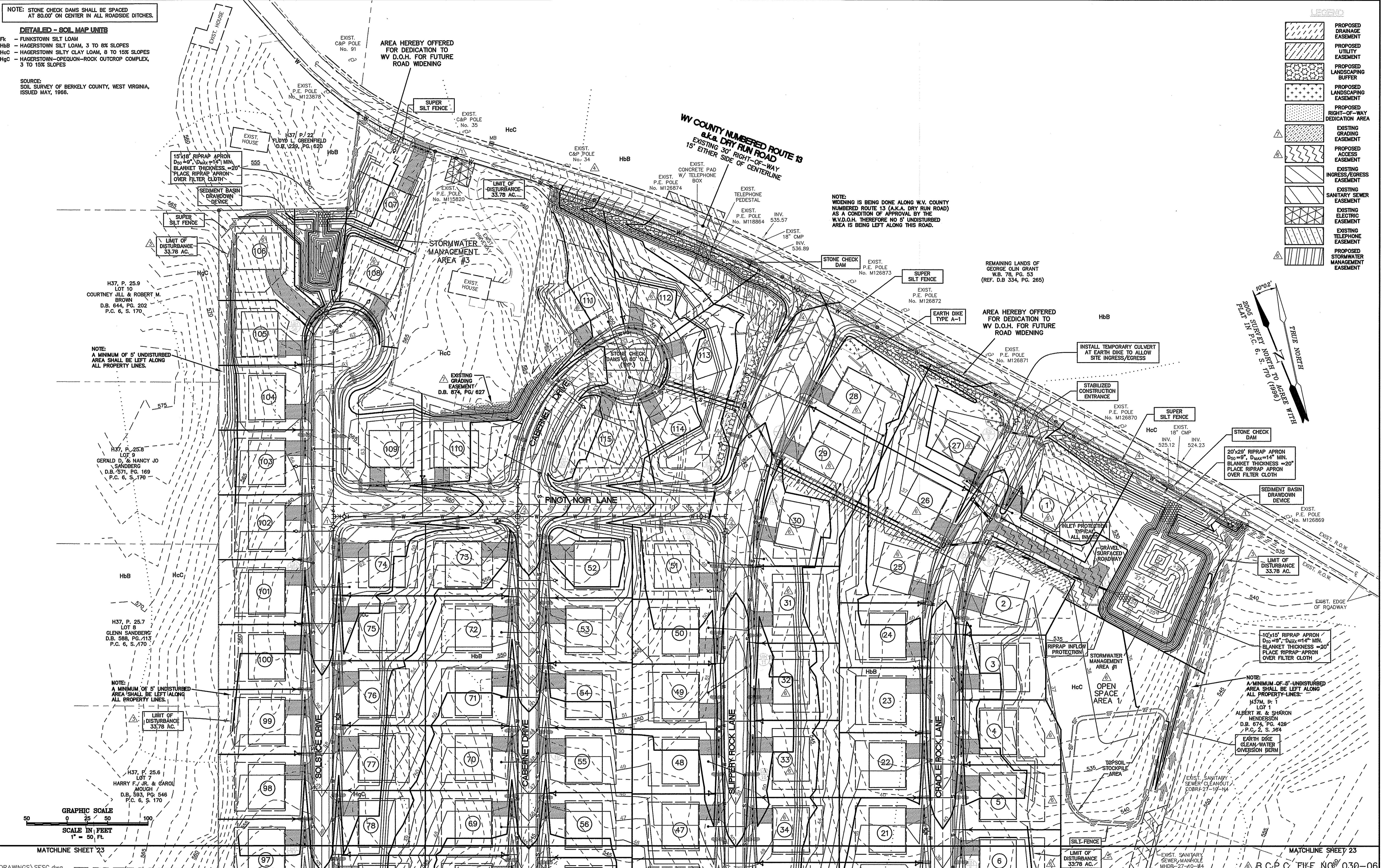
NOTE: STONE CHECK DAMS SHALL BE SPACED AT 80.00' ON CENTER IN ALL ROADSIDE DITCHES.

DETAILED - SOIL MAP UNITS

- Fk - FUNKSTOWN SILT LOAM
- HbB - HAGERSTOWN SILTY LOAM, 3 TO 8% SLOPES
- HcC - HAGERSTOWN SILTY CLAY LOAM, 8 TO 15% SLOPES
- HgC - HAGERSTOWN-OPEQUON-ROCK OUTCROP COMPLEX, 3 TO 15% SLOPES

SOURCE: SOIL SURVEY OF BERKELEY COUNTY, WEST VIRGINIA, ISSUED MAY, 1966.

- PROPOSED DRAINAGE EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED LANDSCAPING BUFFER
- PROPOSED LANDSCAPING EASEMENT
- PROPOSED RIGHT-OF-WAY DEDICATION AREA
- EXISTING GRADING EASEMENT
- PROPOSED ACCESS EASEMENT
- EXISTING INGRESS/EGRESS EASEMENT
- EXISTING SANITARY SEWER EASEMENT
- EXISTING ELECTRIC EASEMENT
- EXISTING TELEPHONE EASEMENT
- PROPOSED STORMWATER MANAGEMENT EASEMENT



GRAPHIC SCALE
SCALE IN FEET
1" = 50' FT

DRAWINGS\SESC.dwg

REV.	REV. PER S.H.A. COMMENTS	R.A.G.	DATE	APP'D
1	REVISED PER IN-HOUSE REVIEW	C.A.S.	03/01/07	
2	REVISED PER B.C.P.C. COMMENTS	W.J.K.	09/09/08	
3	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	12/10/07	
4	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	10/04/07	
5	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07	
6	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	03/25/08	

DAVIS, RENN & ASSOCIATES, INC.

ENGINEERS ARCHITECTS PLANNERS SURVEYORS

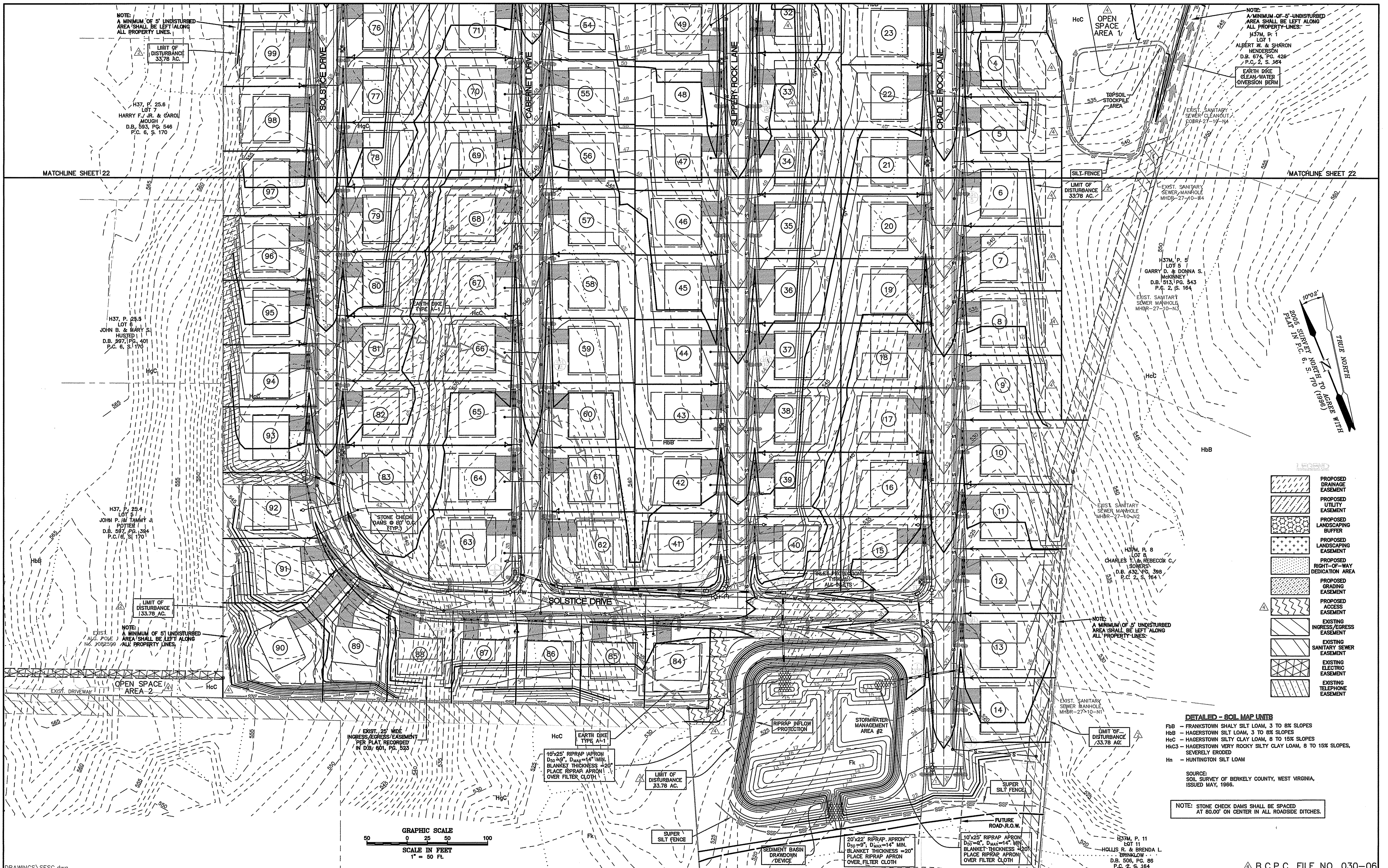
P.O. BOX 246 HAGERSTOWN, MARYLAND 21741 TELEPHONE 301-739-5660

SOIL EROSION & SEDIMENT CONTROL PLAN
FOR
SUNDANCE VALLEY

SHEET NO. 22 OF 34
PROJECT NO. 051024
FILE NO. B-1724

MATCHLINE SHEET 23

H:\18\50925 Sundance Valley\Correspondence\Email In\2018-10-22\plans\DRAWINGS\SESC.dwg_10/23/2018 1:36:53 PM



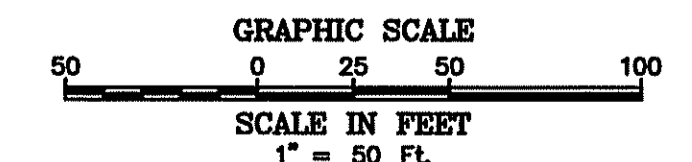
- PROPOSED DRAINAGE EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED LANDSCAPING BUFFER
- PROPOSED LANDSCAPING EASEMENT
- PROPOSED RIGHT-OF-WAY DEDICATION AREA
- PROPOSED GRADING EASEMENT
- PROPOSED ACCESS EASEMENT
- EXISTING INGRESS/EGRESS EASEMENT
- EXISTING SANITARY SEWER EASEMENT
- EXISTING ELECTRIC EASEMENT
- EXISTING TELEPHONE EASEMENT

DETAILED - SOIL MAP UNITS

FbB - FRANKSTOWN SHALY SILT LOAM, 3 TO 8% SLOPES
 HbB - HAGERSTOWN SILTY LOAM, 3 TO 8% SLOPES
 HcC - HAGERSTOWN SILTY CLAY LOAM, 8 TO 15% SLOPES
 HkC3 - HAGERSTOWN VERY ROCKY SILTY CLAY LOAM, 8 TO 15% SLOPES, SEVERELY ERODED
 Hn - HUNTINGTON SILT LOAM

SOURCE: SOIL SURVEY OF BERKELEY COUNTY, WEST VIRGINIA, ISSUED MAY, 1986.

NOTE: STONE CHECK DAMS SHALL BE SPACED AT 80.00' ON CENTER IN ALL ROADSIDE DITCHES.



NO.	REVISION	BY	DATE	APP'D	SCALE
9	REVISED PER B.C.P.C. COMMENTS	C.A.S.	06/17/08		1" = 50'
8	REVISED PER B.C.P.S.D. COMMENTS	C.A.S.	03/25/08		
7	REVISED PER IN-HOUSE REVIEW	C.A.S.	12/10/07		
6	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07		
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SOIL EROSION & SEDIMENT CONTROL PLAN

FOR **SUNDANCE VALLEY**

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

B.C.P.C. FILE NO. 030-06

SHEET NO. 23 OF 34
 PROJECT NO. 051024
 FILE NO. B-1724

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EROSION CONTROL MATTING

Erosion Control Mat
Definition: Application of a permanent erosion control blanket to the surface of the soil.
Purpose: To provide erosion control on areas that are subject to concentrated flows.

Where Applicable: On severely eroded areas, steep slopes, waterways, and ditches. On areas where velocity of flow is too great to establish vegetation, and where riprap or other paving is unnecessary or unacceptable.

Specifications
Material: Erosion control mat is a three dimensional multi-layered structure of polyethylene, nylon, vinyl, or other material specifically manufactured and recommended by the manufacturer for erosion control applications.

Installation: Erosion control mat should be installed in accordance with the manufacturers recommendations. The general installation procedure is as follows:

- 1. Divert runoff away from the application area to the extent feasible.
2. Prepare a smooth surface by removing all vegetation, roots, tree stumps, rocks, and debris.
3. Fill holes and depressions. Grade and compact the entire area.
4. Prepare the seedbed; lime, fertilize, and seed before laying the mat.

16 May 1993
WV Erosion and Sediment Control Handbook for Developing Areas

CHECK DAMS

Check Dams
Definition: Small temporary dams constructed across a swale or drainage ditch.
Purpose: To reduce the velocity of concentrated storm water flows, thereby reducing erosion of the swale or ditch.

Conditions Where Practice Applies: This practice is limited to use in small open channels which drain 30 acres or less. It should not be used in a live stream.

Some specific applications include:
1. Temporary ditches or swales which, because of their short length of service, cannot receive a non-erodible lining but still need some protection to reduce erosion.
2. Permanent ditches or swales which for some reason cannot receive a permanent non-erodible lining for an extended period of time.

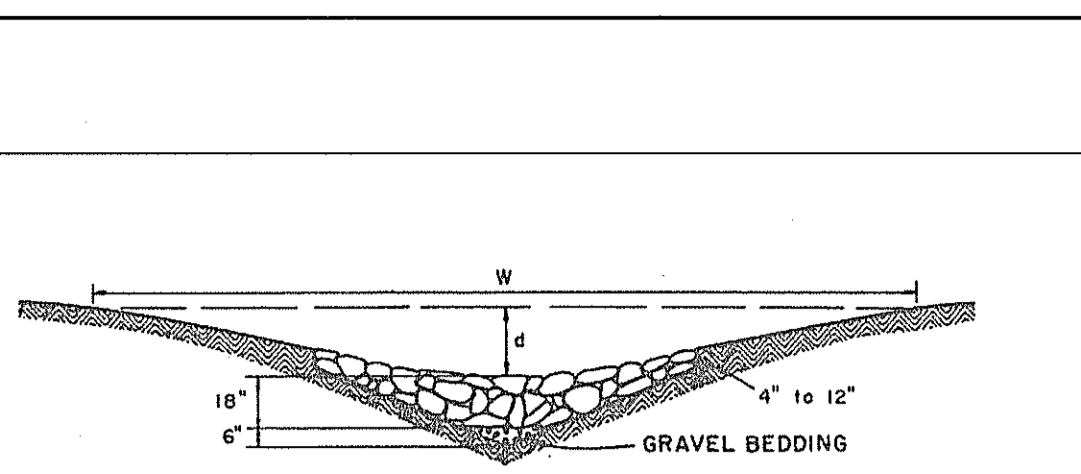
Planning Considerations
Check dams can be constructed of either stone or logs. If stone check dams are used in grass-lined channels which will be mowed, care should be taken to remove all the stone from the dam when the dam is removed.

Design Criteria
No formal design is required for a check dam, however, the following criteria should be adhered to when using check dams. The drainage area of the ditch or swale being protected should not exceed 30-acres.

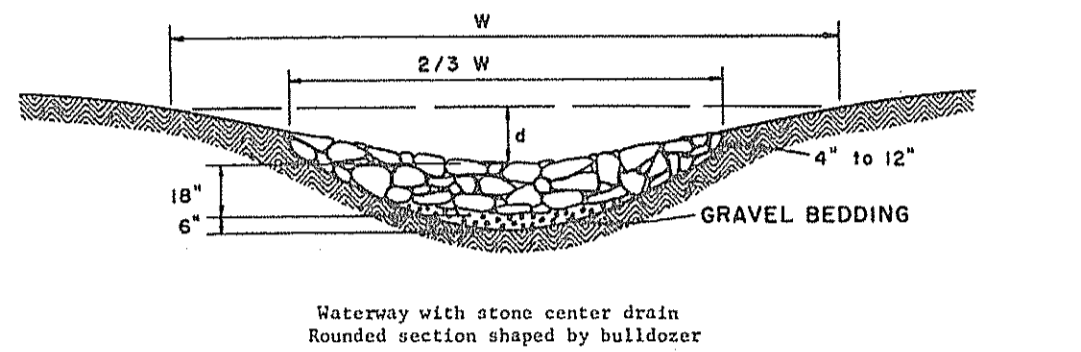
Maintenance
Check dams should be checked for sediment accumulation after each significant rainfall. Sediment should be removed when it reaches one half of the original height or before. Regular inspections should be made to insure that the center of the dam is lower than the edges.

WV Erosion and Sediment Control Handbook for Developing Areas

LINED WATERWAY



Waterway with stone center drain V-section shaped by motor patrol



Waterway with stone center drain Rounded section shaped by bulldozer

Figure 7 - Waterway with stone center
WV Erosion and Sediment Control Handbook for Developing Areas, May 1993

LINED WATERWAY OR OUTLET

Lined Waterway or Outlet
Definition: A waterway or outlet having an erosion-resistant lining of concrete, stone, or other permanent material. The lined section extends up the side slopes to a designed depth.

Purpose: To provide for safe disposal of runoff from other erosion and sediment control structures or from natural concentrations of flow, without damage by erosion or flooding, where unlined or grassed waterways would be inadequate.

Water Quantity
1. Effects upon components of the water budget, especially effects on volumes and rates of runoff, infiltration, evaporation, transpiration, deep percolation, and ground water recharge should be considered.

Design Criteria
This practice applies to waterways or outlets having linings of nonreinforced, in-place concrete, flagstone mortared in place, rock riprap, or similar permanent linings. This standard may also be used for grassed waterways with stone centers or small lined sections to carry prolonged low flows.

Velocity: Maximum design velocity shall be as shown in Figure 11. Except for short transition sections, flow in the range of 0.7 to 1.5 of the critical slope must be avoided unless the channel is straight. Velocities exceeding critical shall be restricted to straight reaches.

WV Erosion and Sediment Control Handbook for Developing Areas

SILT FENCE

Silt Fences
Definition: A temporary barrier with a life expectancy of six months or less, installed below small disturbed areas or at the toe of a slope.

Purpose: The purpose of a silt fence is to intercept and detain sediment from small unprotected areas.

Conditions Where Practice Applies: A silt fence may be used where:
1. There is no concentration of water in a channel or other drainage way above the barrier.
2. Erosion will occur in the form of sheet and rill erosion.

Design Criteria
All silt fences shall be placed as close to the contour as possible. A detail of the silt fence shall be shown on the plan, and contain the following minimum requirements:
1. The type, size, and spacing of fence posts.
2. The size of woven wire support fence.
3. The type of filter cloth used.
4. The method of anchoring the filter cloth.

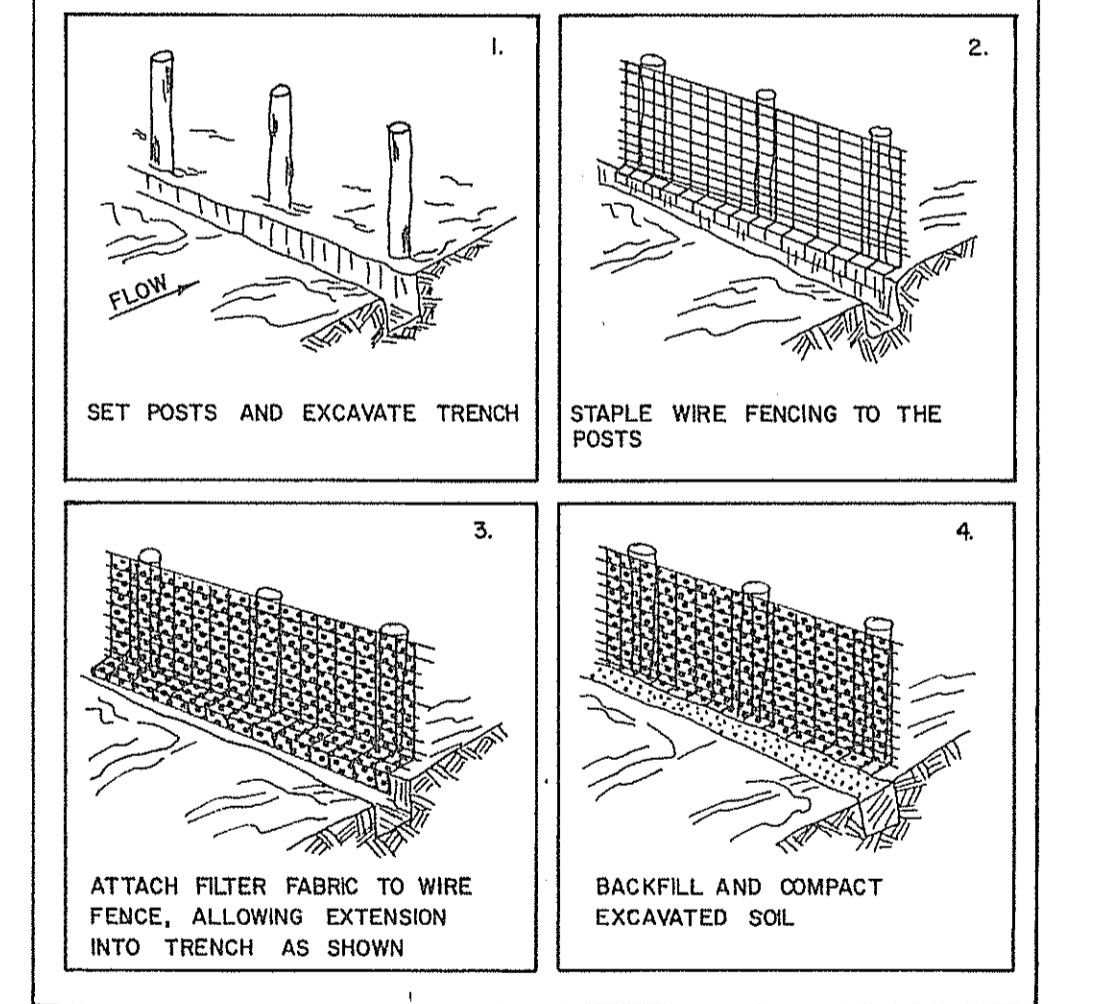
Materials
1. Silt Fence Cloth: Filter fabric shall be a pervious sheet of woven geotextile fabric consisting of long chain polymeric filaments or yarns such as polypropylene, polyethylene, polyester, polyamide, or poly(vinylidene-chloride).

Prefabricated Silt Fence: Prefabricated silt fence with posts attached is available. This fence is installed in a manner similar to that described above.

Specifications
1. The fence posts shall be spaced a maximum distance of 10 feet center-to-center.
2. Woven wire fence shall be fastened securely to the upstream side of the fence posts by staples or wire ties.

SILT FENCE

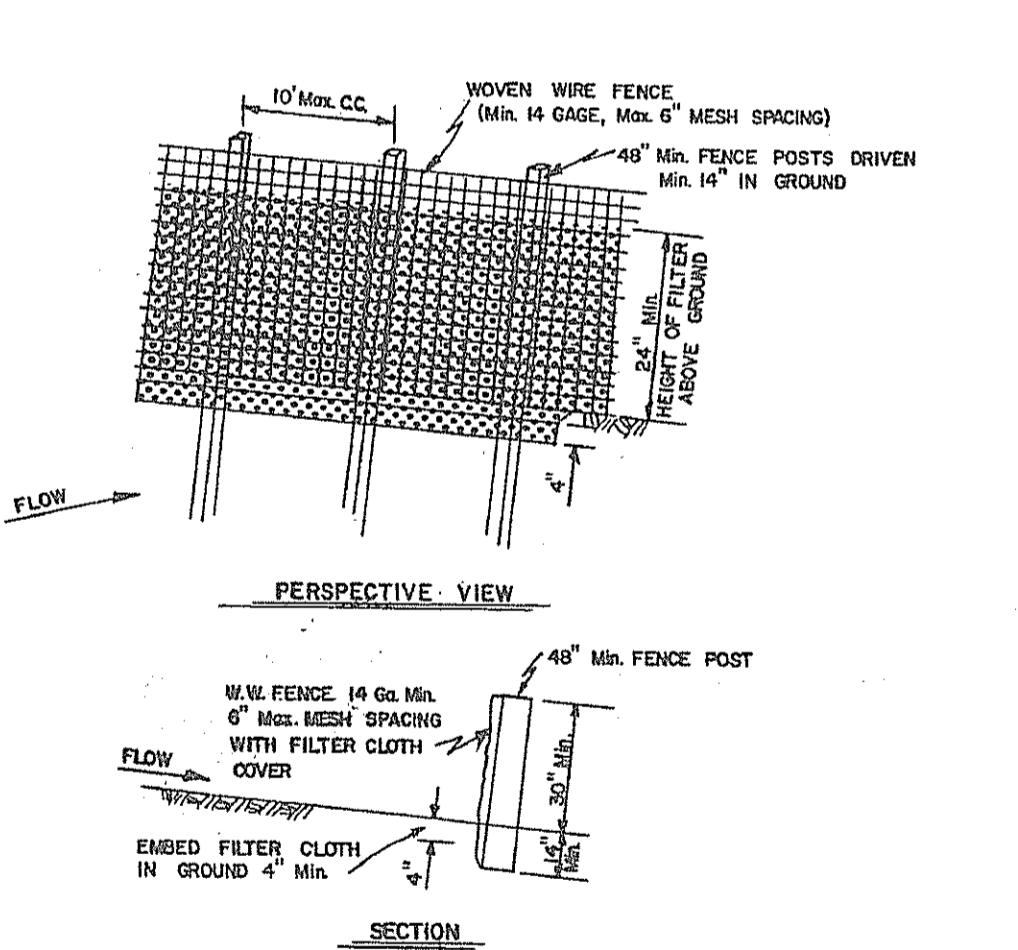
BUILDING A SILT FENCE A STEP BY STEP PROCEDURE



WV Erosion and Sediment Control Handbook for Developing Areas, May 1993

SILT FENCE

Figure 2 - Silt Fence Detail



WV Erosion and Sediment Control Handbook for Developing Areas, May 1993

PERMANENT SEEDING SUMMARY

Table with columns: NO., SPECIES, APPLICATION RATE (LB./AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Includes entries for Tall Fescue, Perennial Ryegrass, and Kentucky Bluegrass.

TEMPORARY SEEDING SUMMARY

Table with columns: NO., SPECIES, APPLICATION RATE (LB./AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-10-10), LIME RATE. Includes entry for Barley.

SEDIMENT AND EROSION CONTROL NOTES

- 1. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."
2. ALL DISTURBED AREAS TO BE SEEDED WITHIN 7 DAYS OF INITIAL GRADING.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AT THE INITIATION OF GRADING.
4. ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 7 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.

PERMANENT SEEDING AND SOD NOTES

- 1. SCOPE: PLANTING PERMANENT, LONG-LIVED VEGETATIVE COVER ON GRADED OR CLEARED AREAS.
2. STANDARDS: PERMANENT SEEDING SHALL CONFORM TO ALL REQUIREMENTS OF THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."

- 1. SOIL AMENDMENTS:
A) FOR SITES OF 5 ACRES OR UNDER, APPLY 90 LBS./AC. (2.0 LBS. ACTUAL NITROGEN/1000 SQ. FT.) AND 175 LBS./AC. (4 LBS. ACTUAL P205 AND K20/1000 SQ. FT.).
B) RELEASE UREAFORM FERTILIZER (48-0-0) MAY BE APPLIED TO AREAS RECEIVING LOW MAINTENANCE TO PROVIDE NITROGEN OVER A LONGER PERIOD OF TIME.
2. SEEDING PREPARATION:
A) SOIL SHALL BE LOOSENED TO A DEPTH OF 3-5 INCHES BY RAKING, DISCING, OR OTHER ACCEPTABLE MEANS PRIOR TO SEEDING.

TEMPORARY SEEDING NOTES

- 1. TO EROSION FOR A PERIOD OF 7 DAYS OR MORE.
2. STANDARDS: TEMPORARY SEEDING SHALL CONFORM TO ALL REQUIREMENTS OF THE "1993 WV EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPING AREAS."
3. SEDIMENT & EROSION CONTROL: ALL PERIMETER CONTROLS MUST BE STABILIZED IN 7 DAYS. ALL INTERIOR CONTROLS MUST BE STABILIZED IN 7 DAYS.

- 1. SITE PREPARATION:
A) PRIOR TO SEEDING INSTALL ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES.
B) FINAL GRADING NOT REQUIRED FOR TEMPORARY SEEDING.
2. SOIL AMENDMENTS:
A) FERTILIZER SHALL BE APPLIED AT THE RATE OF 600 LBS./AC. (15 LBS./1000 SQ. FT.) USING 10-10-10 OR EQUIVALENT.
B) LIME SHALL BE APPLIED AT A RATE OF 2 TONS/AC. (100 LBS./1000 SQ. FT.).

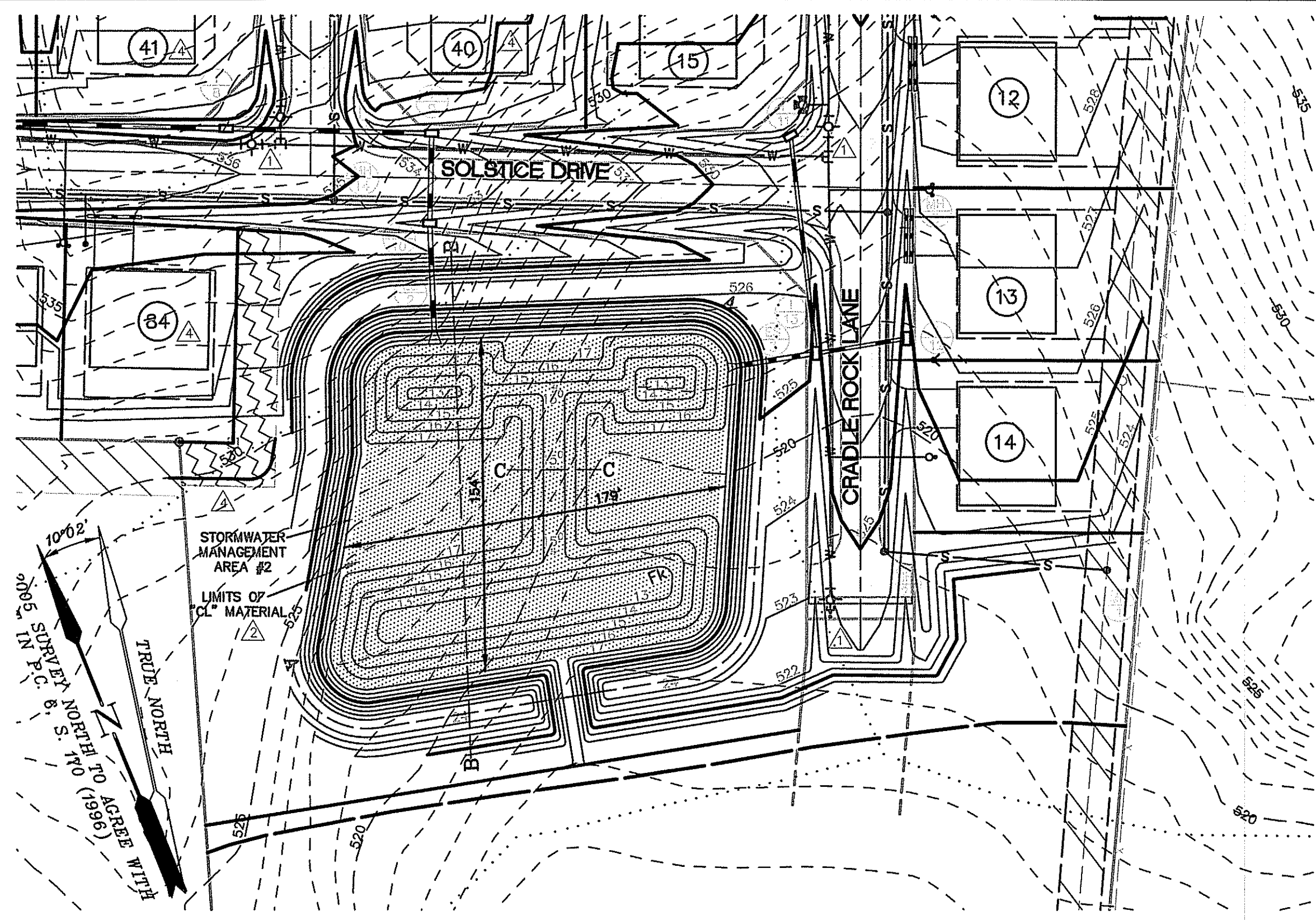
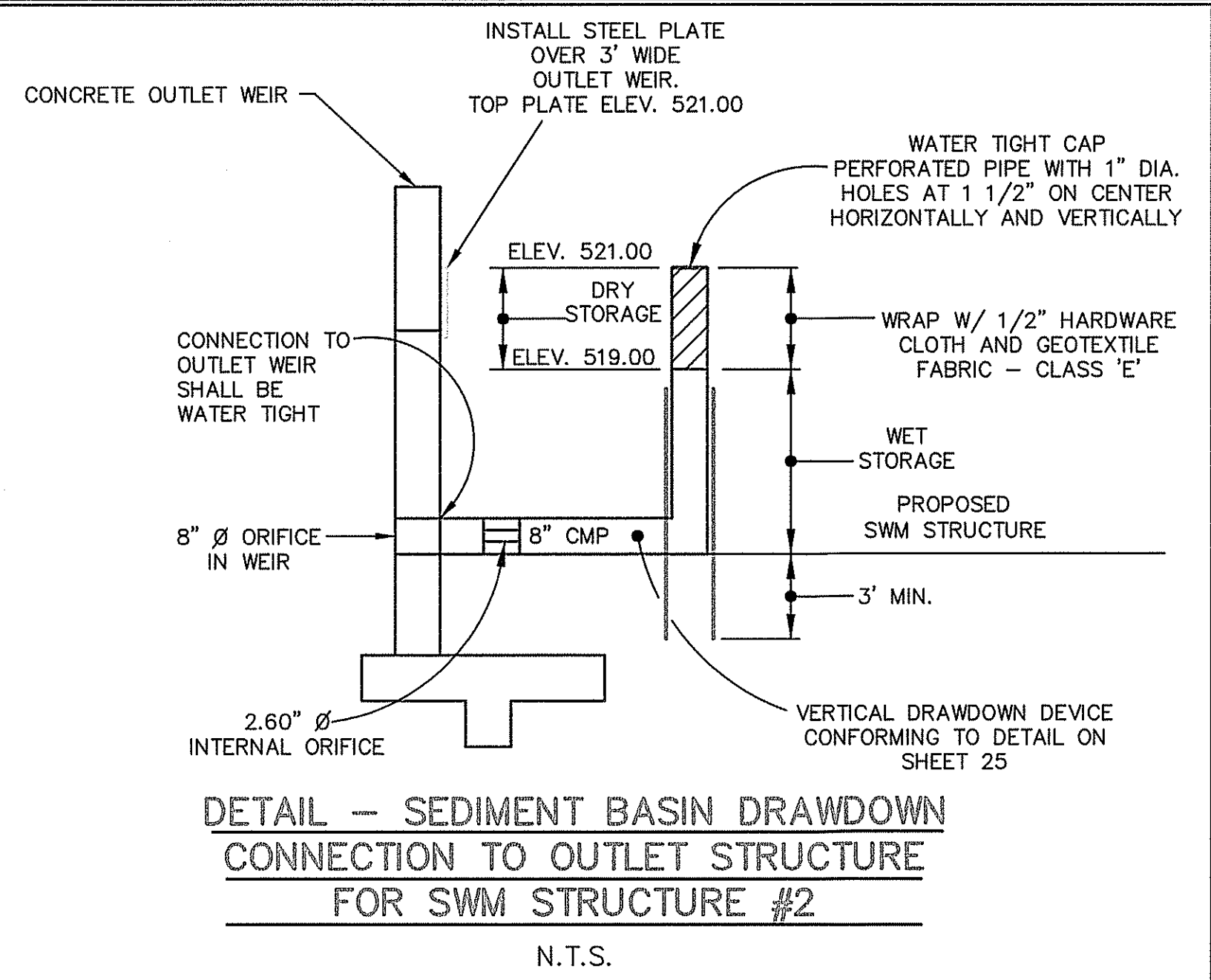
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Revision table with columns: NO., REVISION, REVISION DATE, APP'D.

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SOIL EROSION/SEDIMENT CONTROL DETAILS
FOR
SUNDANCE VALLEY

B.C.P.C. FILE NO. 030-06
SHEET NO. 24 OF 34
PROJECT NO. 051024
FILE NO. B-1724



- WATER QUALITY / SEDIMENT MANAGEMENT MAINTENANCE SCHEDULE**
1. INSPECT SEDIMENT FOREBAY AND MICRO POOL AREA WEEKLY AND REMOVE ANY ACCUMULATED SEDIMENT WITHIN SEDIMENT FOREBAY WHEN SEDIMENT REACHES A DEPTH OF 2".
 2. MONITOR VEGETATION EVERY 6 MONTHS. REPLANT ANY VEGETATION THAT HAS NOT GROWN IN THIS PERIOD.
 3. INSPECT GRASS STAND REGULARLY. RE-SEED AREA AS REQUIRED. GRASS TO BE MOWED THREE (3) TIMES A YEAR.
- SEDIMENT BASIN DESIGN / STORMWATER MANAGEMENT**
- THE PROPOSED POND WILL BE USED AS A TEMPORARY SEDIMENT BASIN ON THIS PROJECT. THE DRAINAGE AREA CONTRIBUTING TO THE PROPOSED POND IS 27.41 ACRES. THE SEDIMENT STORAGE VOLUME REQUIRED IS AS FOLLOWS:
- 27.41 ACRES x 3600 FT³/ACRE = 98,676 FT³ OF SEDIMENT STORAGE REQUIRED (2.28 AC-FT).

SUMMARY OF REQUIRED STORAGE VOLUMES

COMPONENT	REQUIRED VOLUME	PROVIDED VOLUME
WQv ReV	0.6970 AC-FT 0.2013 AC-FT	0.6970 AC-FT BELOW ELEVATION 517.00
CpV	0.8353 AC-FT WHILE DISCHARGING 0.52 CFS	0.77187 AC-FT BELOW ELEVATION 518.27 WHICH RESULTS IN A CpV DISCHARGE OF 0.43 CFS
Op	1.80 AC-FT WHILE DISCHARGING 22.95 CFS	1.9784 AC-FT BELOW ELEVATION 520.12 WHICH RESULTS IN A Op DISCHARGE OF 20.12 CFS

DESIGN STORM ELEVATION SUMMARY

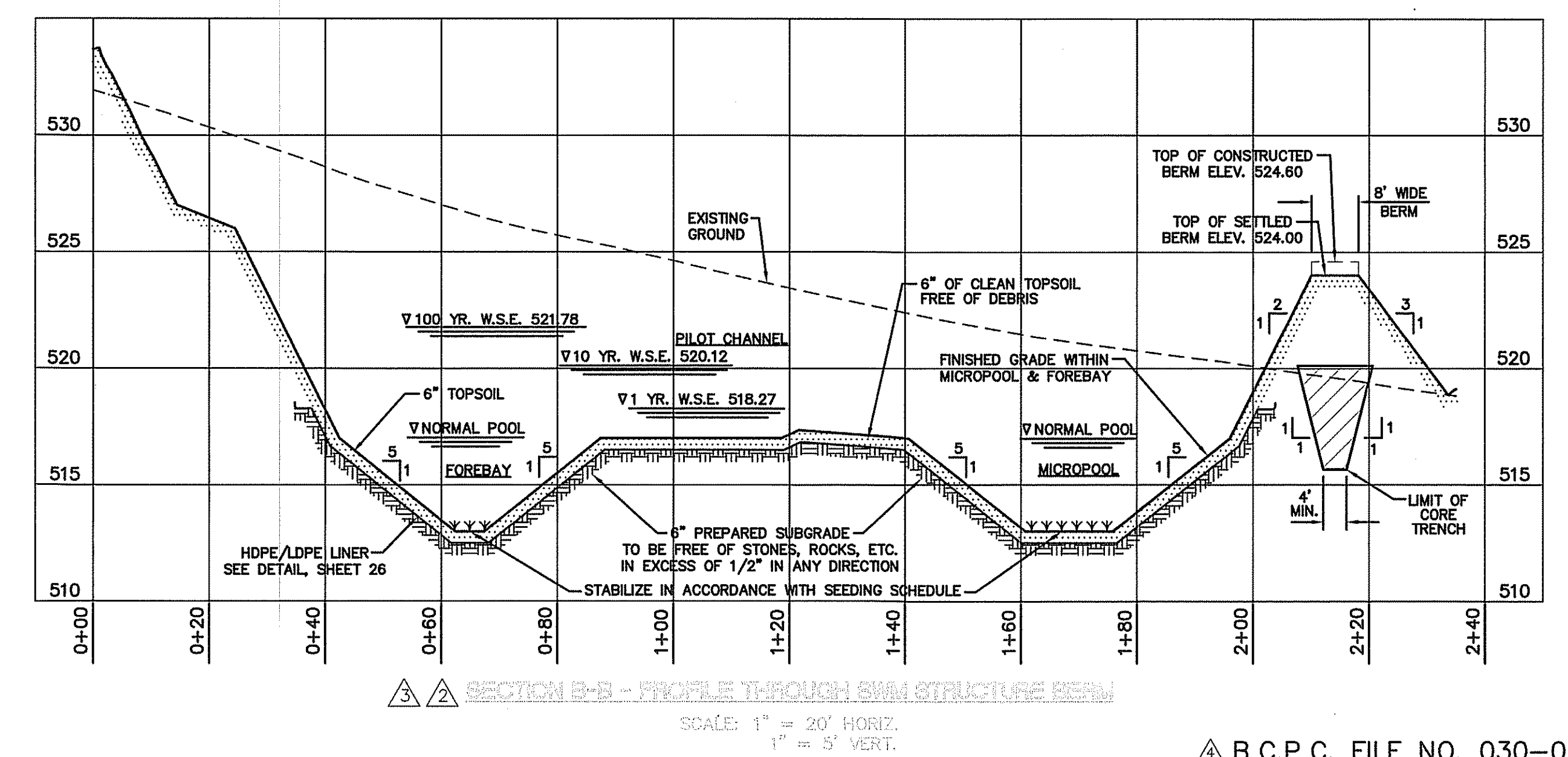
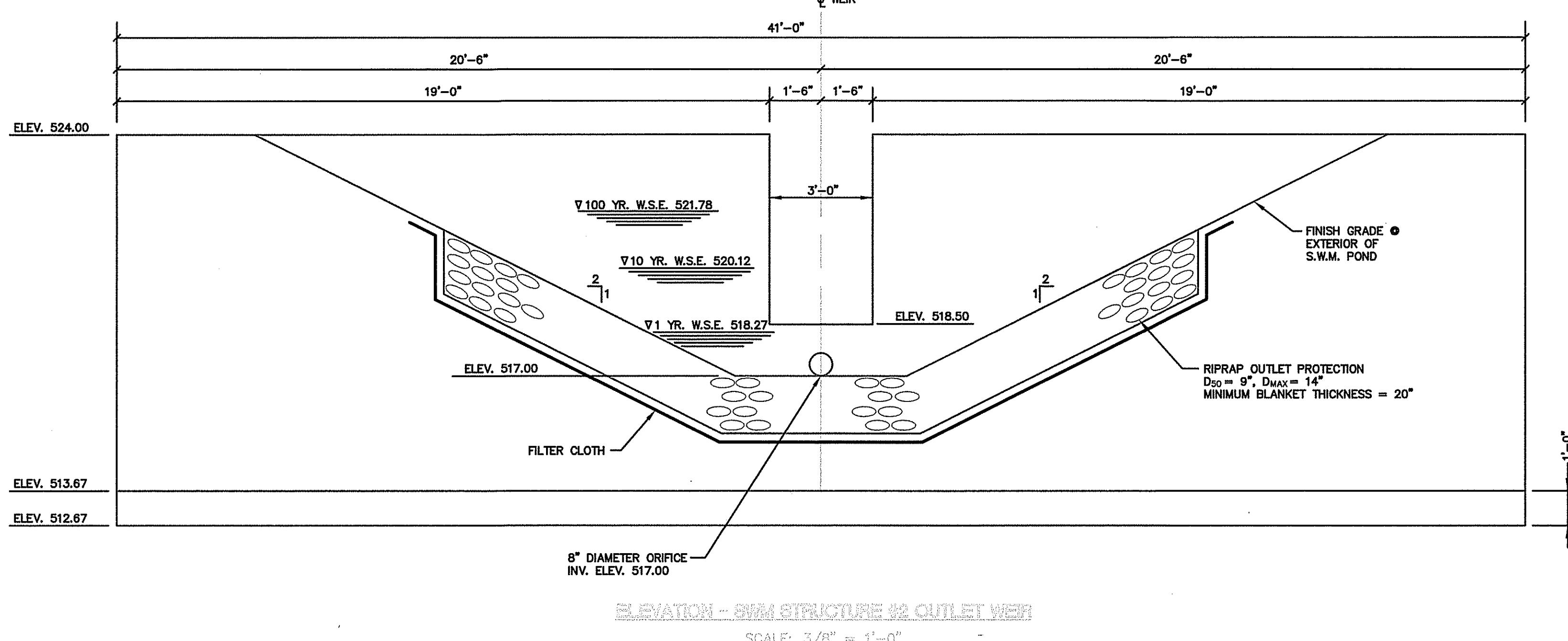
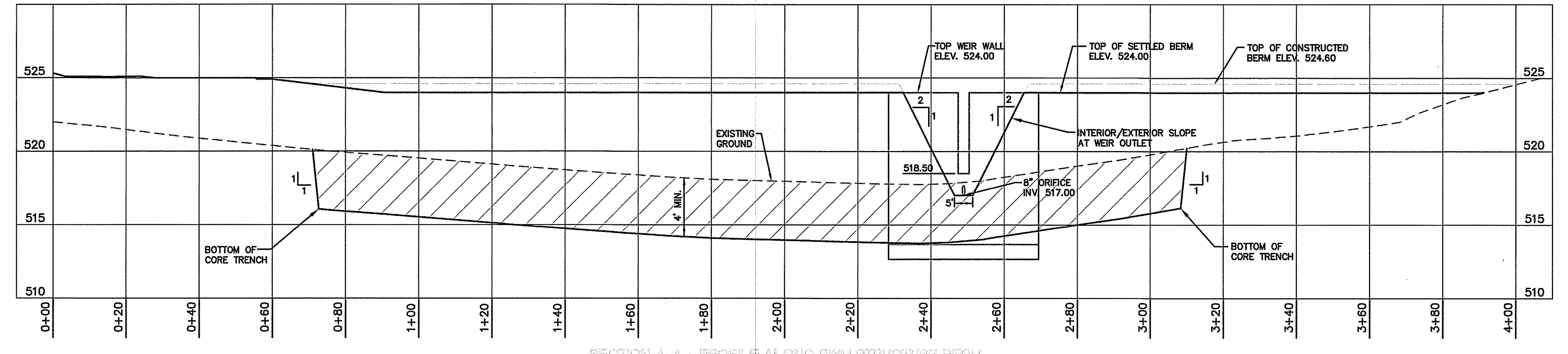
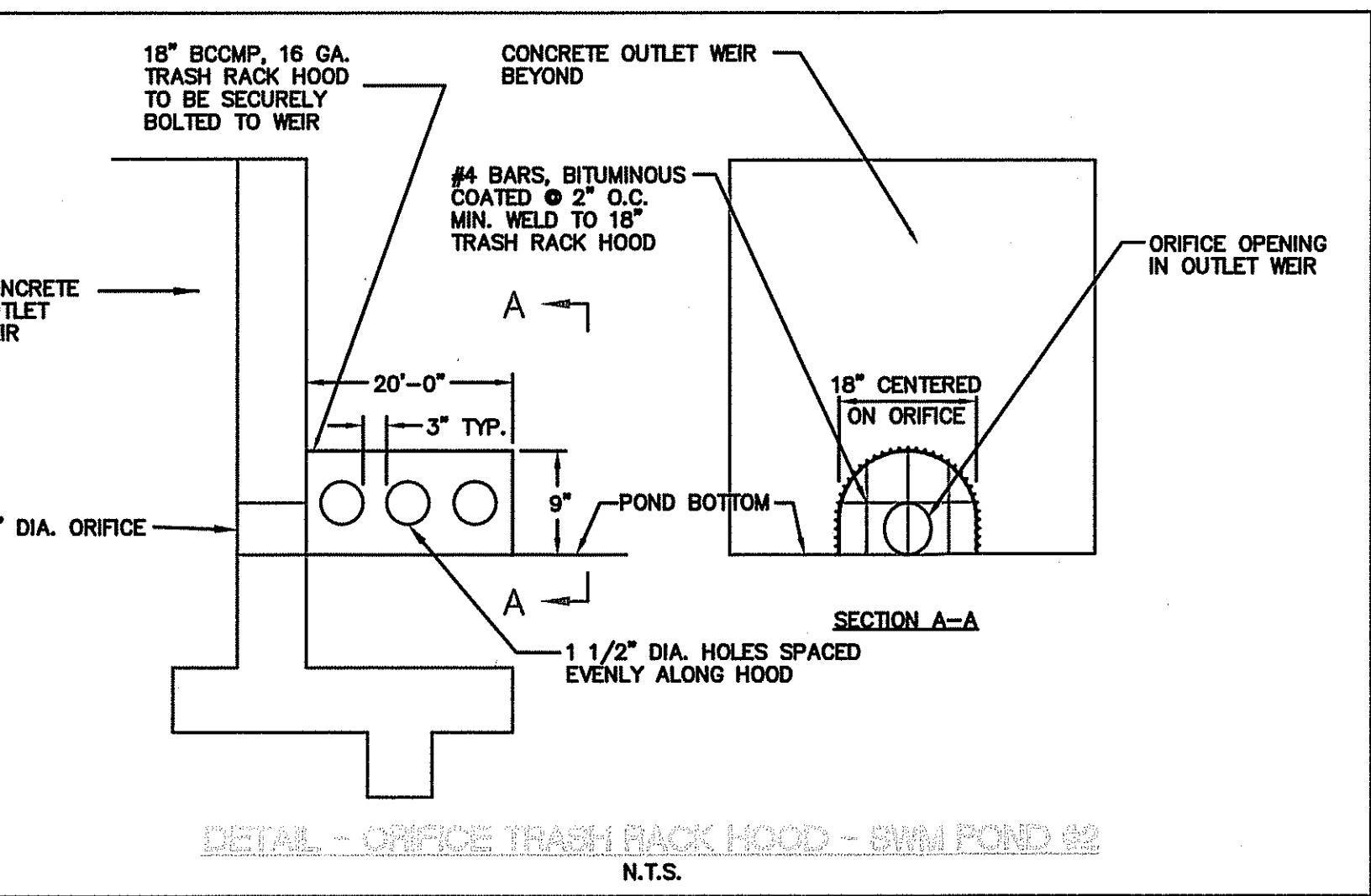
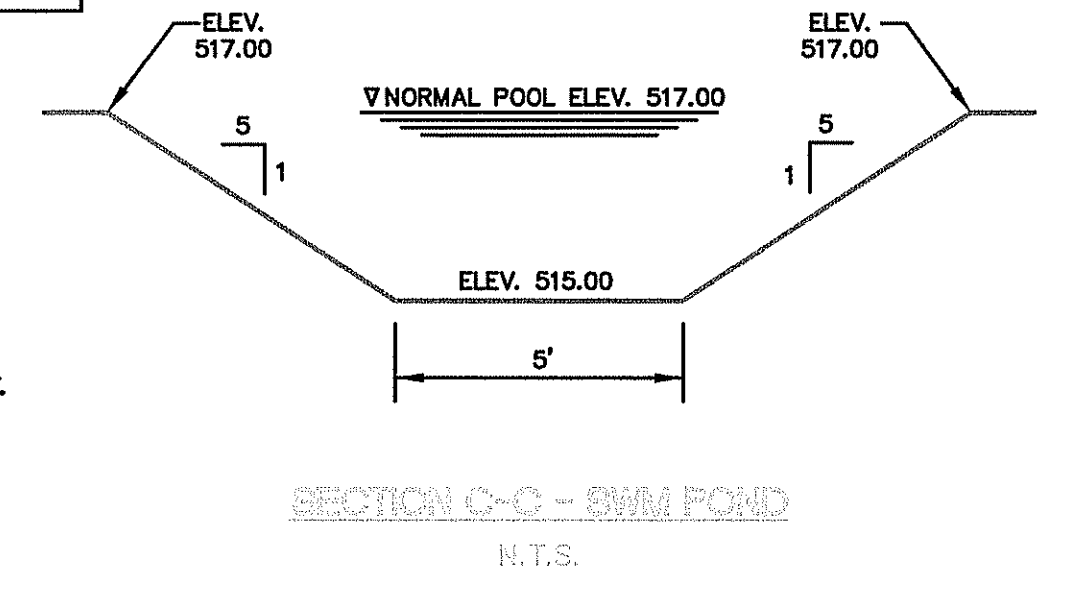
STORM EVENT	W.S.E.	Q (cfs)
1 YEAR	518.27	0.43
10 YEAR	520.12	20.22
100 YEAR	521.78	55.62

REQUIREMENTS

WQv REQ'D. = 0.6970 AC-FT.
 ReV REQ'D. = 0.2013 AC-FT.
 TOTAL REQ'D. = 0.8983 AC-FT.

TOTAL WET POOL VOLUME PROVIDED BELOW ELEVATION 517.00 = 0.6970 AC-FT.

NOTE: RECHARGE VOLUME IS INCLUDED WITHIN THE IMPOUNDED WATER QUALITY VOLUME OF 0.6970 AC-FT



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NO.	REVISION	BY	DATE	APP'D	SCALE	AS NOTED
9	REVISED PER B.C.P.C. COMMENTS	W.J.K.	06/17/08			
8	REVISED PER B.C.P.S.D. COMMENTS	C.A.S.	03/25/08			
7	REVISED PER IN-HOUSE REVIEW	C.A.S.	01/18/08			
6	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07			
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STORMWATER MANAGEMENT AREA #2 DETAILS

FOR **SUNDANCE VALLEY**

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

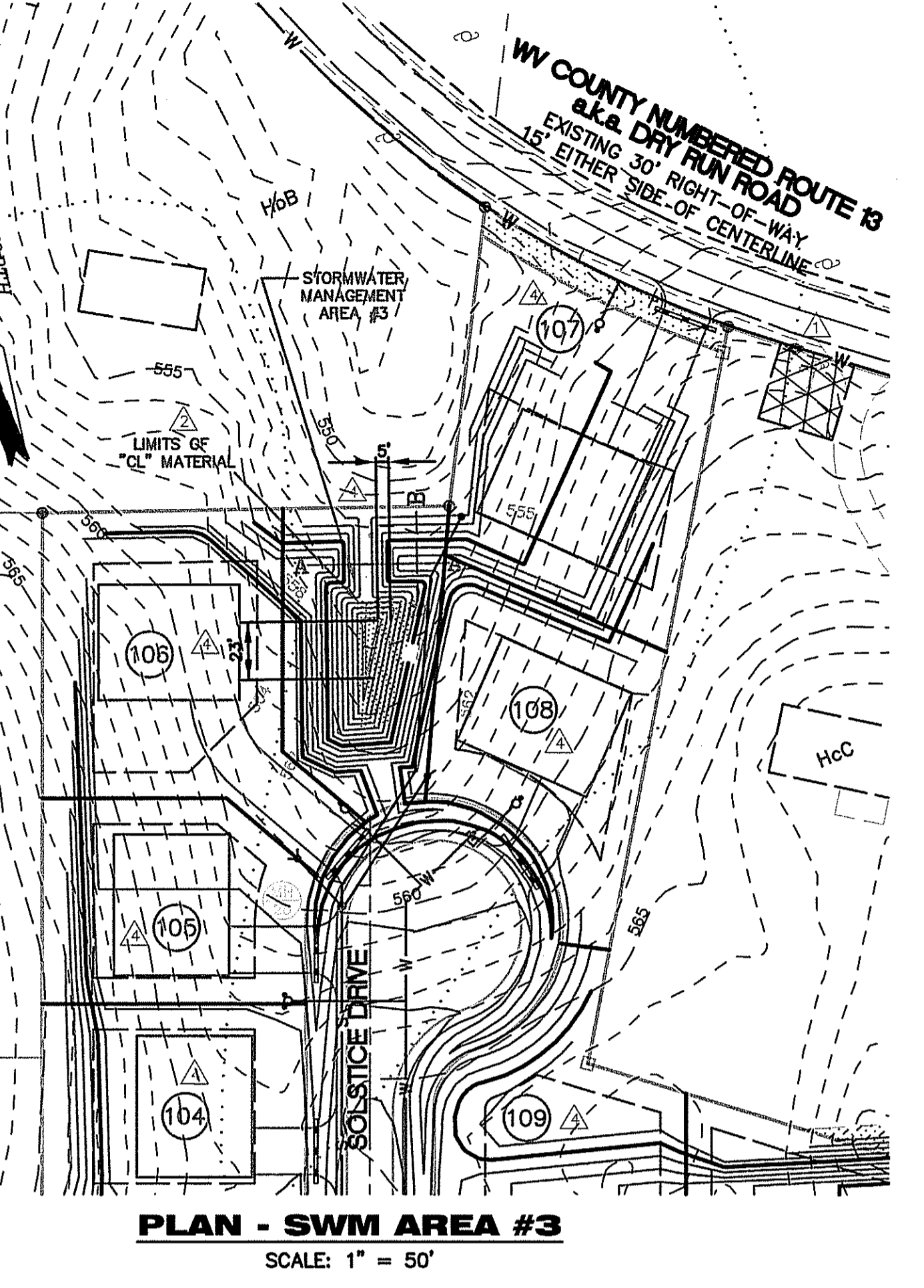
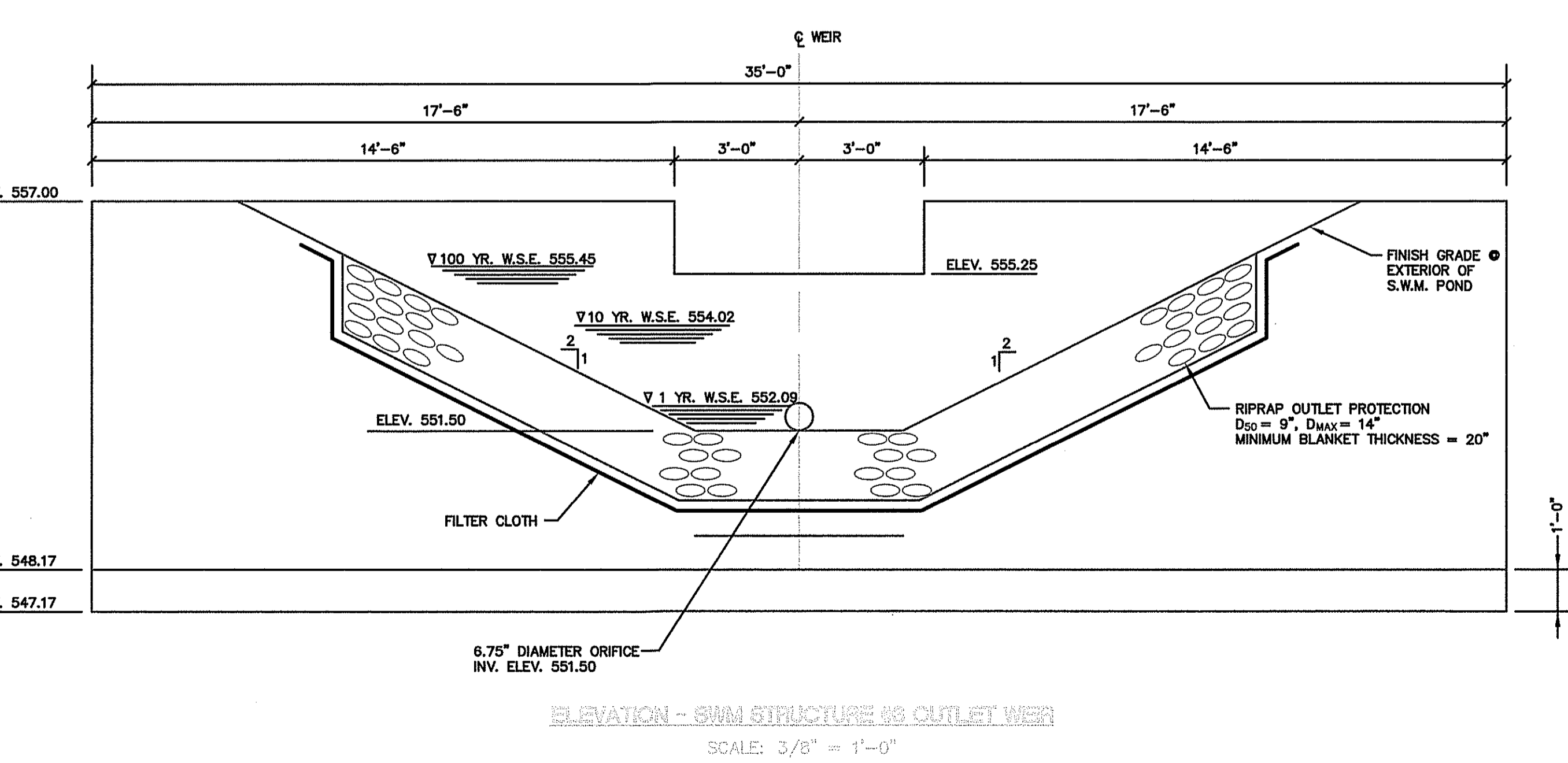
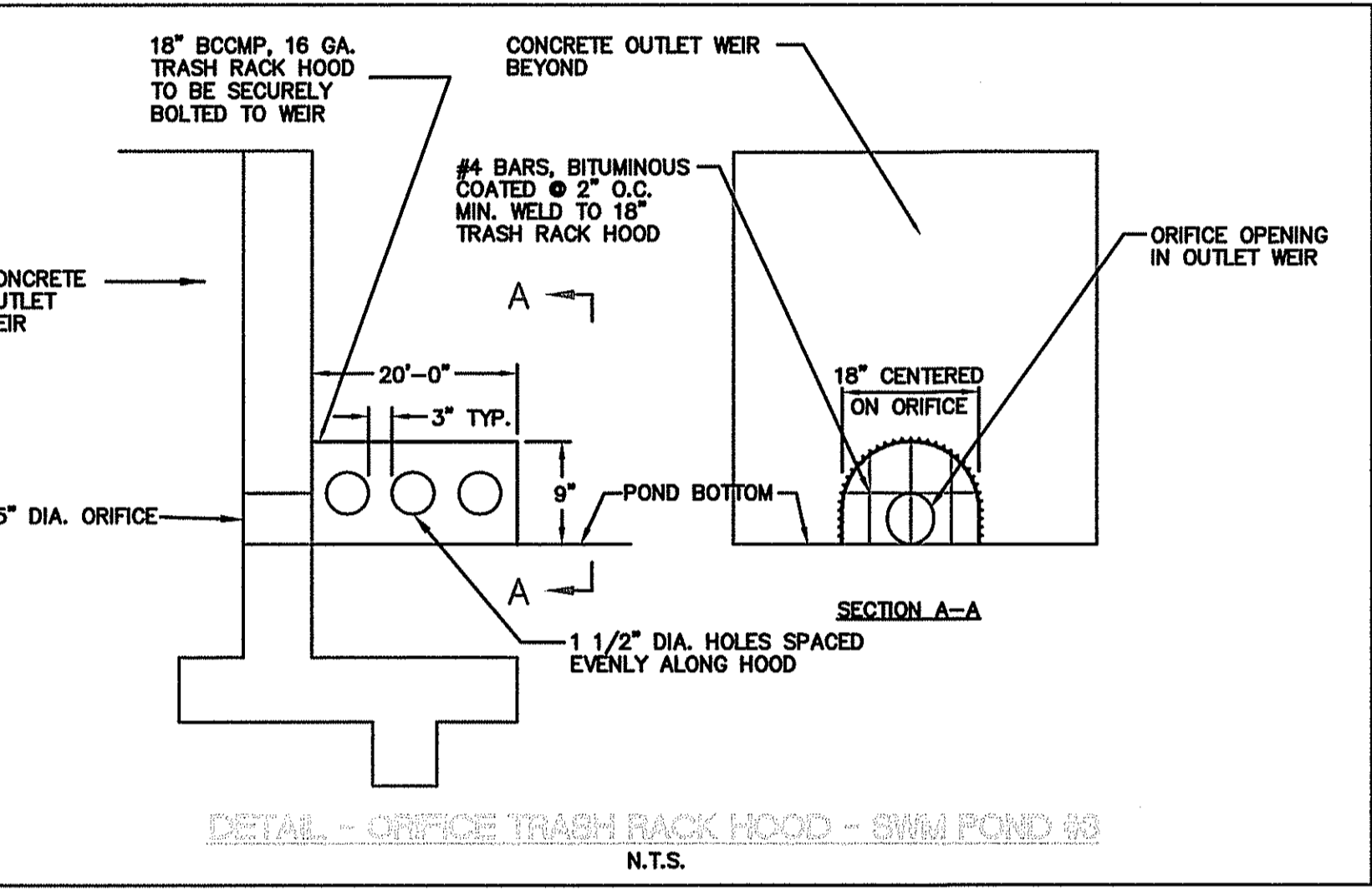
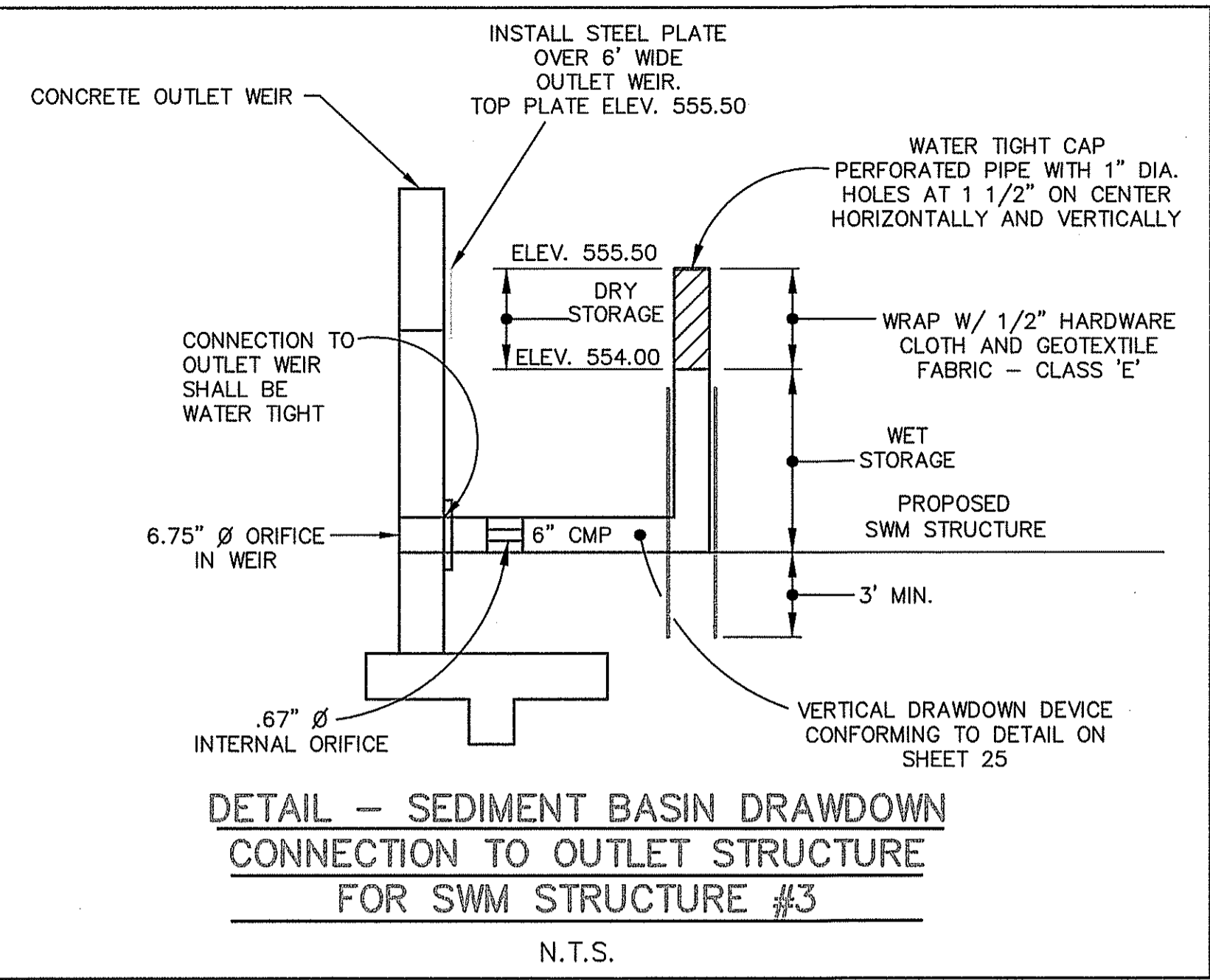
PROJECT NO. 051024

FILE NO. B-1724

PROJECT NO. 27 OF 34

FILE NO. B-1724

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WATER QUALITY STORAGE/ MANAGEMENT MAINTENANCE SCHEDULE

1. INSPECT SEDIMENT FOREBAY AND MICRO POOL AREA WEEKLY AND REMOVE ANY ACCUMULATED SEDIMENT WITHIN SEDIMENT FOREBAY WHEN SEDIMENT REACHES A DEPTH OF 2'.
2. MONITOR VEGETATION EVERY 6 MONTHS. REPLANT ANY VEGETATION THAT HAS NOT GROWN IN THIS PERIOD.
3. INSPECT GRASS STAND REGULARLY. RE-SEED AREA AS REQUIRED. GRASS TO BE MOWED THREE (3) TIMES A YEAR.

SECURITY BASIN DESIGN

THE PROPOSED POND WILL BE USED AS A TEMPORARY SEDIMENT BASIN ON THIS PROJECT. THE DRAINAGE AREA CONTRIBUTING TO THE PROPOSED POND IS 1.88 ACRES. THE SEDIMENT STORAGE VOLUME REQUIRED IS AS FOLLOWS:

1.88 ACRES x 3600 FT³/ACRE = 6,048 FT³ OF SEDIMENT STORAGE REQUIRED (0.14 AC-FT).

SUMMARY OF REQUIRED STORAGE VOLUMES

COMPONENT	REQUIRED VOLUME	PROVIDED VOLUME
WqV ReV	0.038 AC-FT 0.011 AC-FT	0.038 AC-FT BELOW ELEVATION 551.50
CpV	N/A	Cp POST DEVELOPMENT IS LESS THAN 2.00 CFS THEREFORE CpV NOT REQUIRED
Cp	0.0798 AC-FT WHILE DISCHARGING 2.21 CFS	0.0684 AC-FT BELOW ELEVATION 554.02 WHICH RESULTS IN A Cp DISCHARGE OF 1.79 CFS

DESIGN STORM ELEVATION SUMMARY

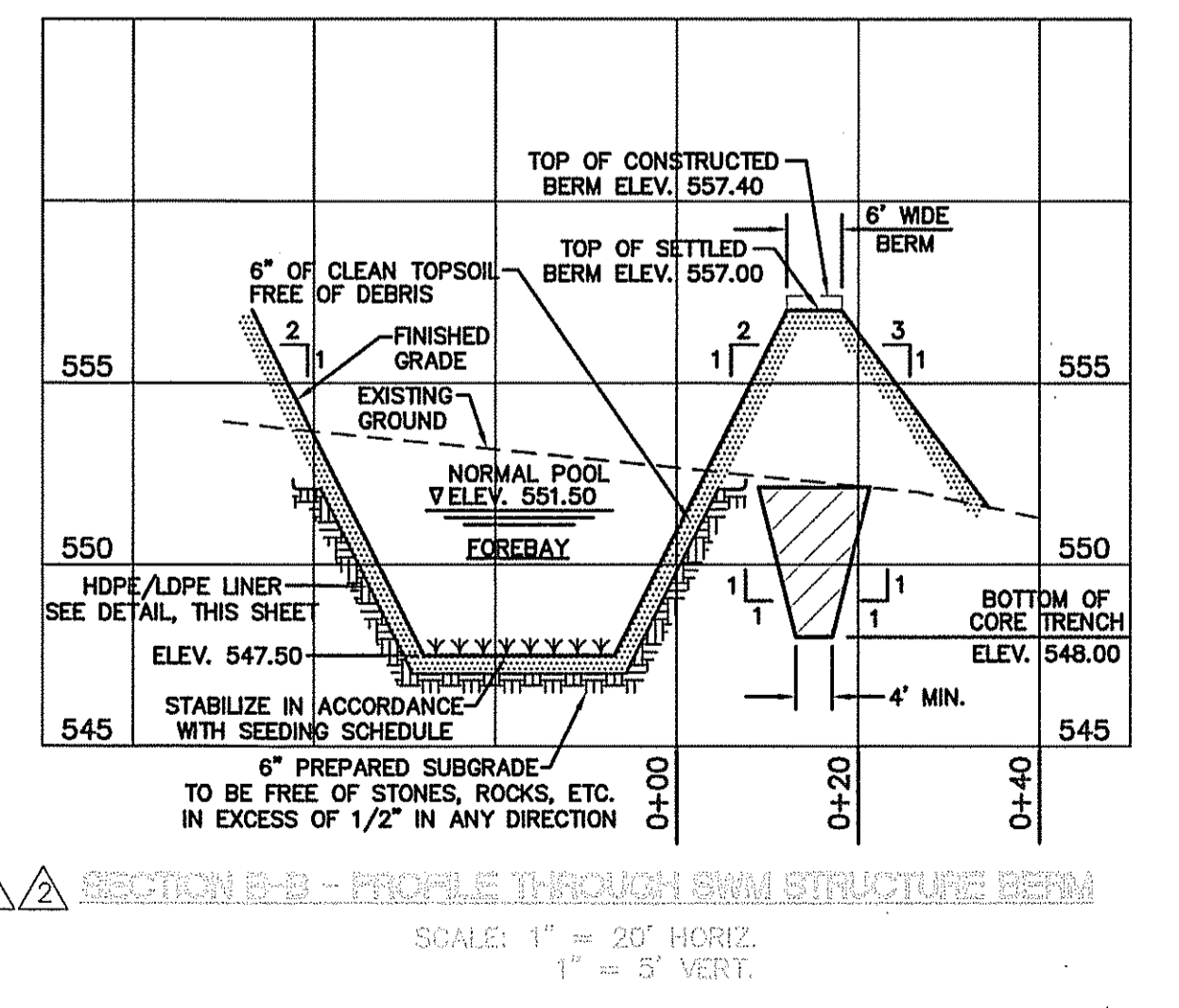
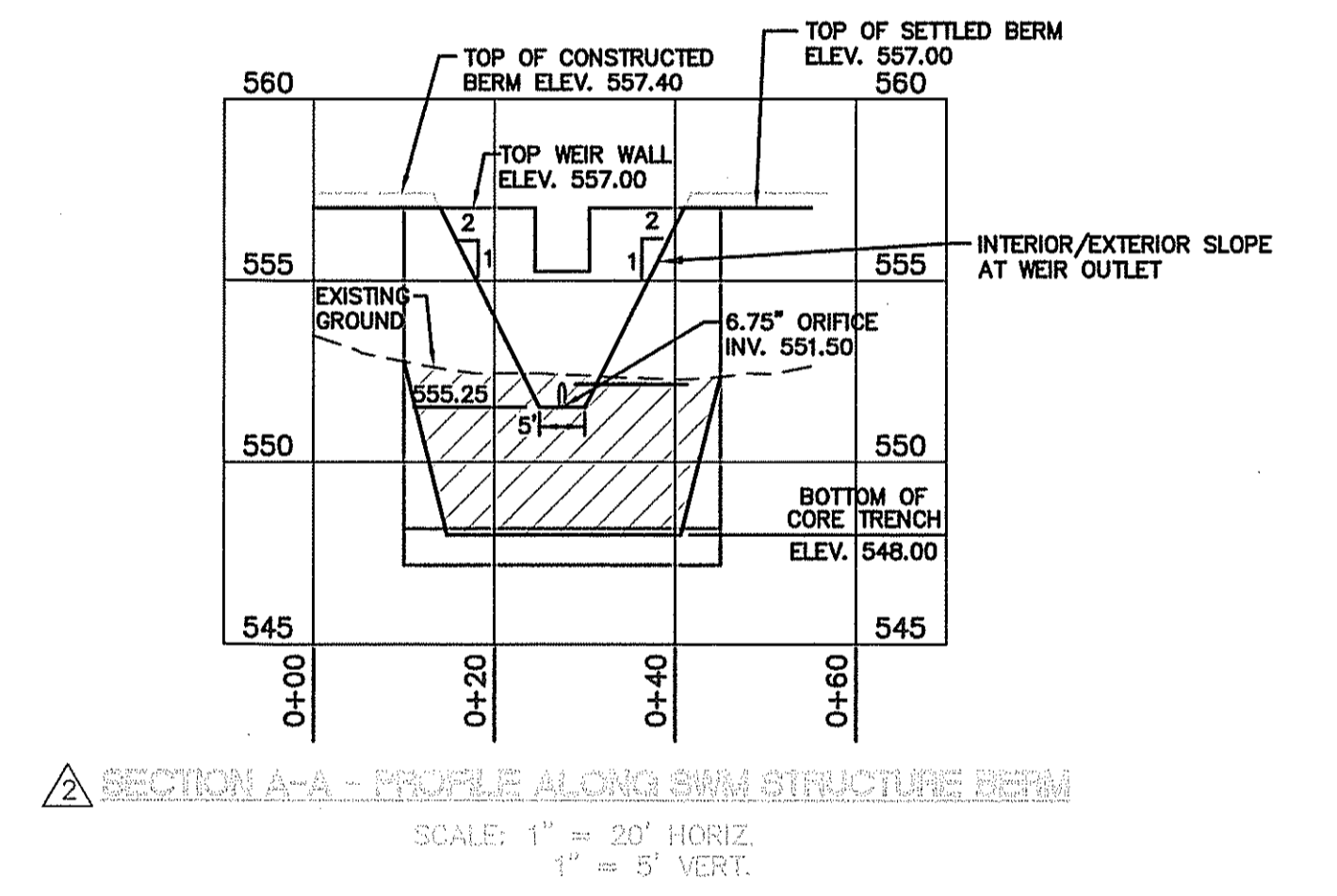
STORM EVENT	W.S.E.	Q (cfs)
1 YEAR	552.09	0.63
10 YEAR	554.02	1.79
100 YEAR	555.45	4.32

REQUIREMENTS

WqV REQ'D. = 0.038 AC-FT.
ReV REQ'D. = 0.011 AC-FT.
TOTAL REQ'D. = 0.049 AC-FT.

TOTAL WET POOL VOLUME PROVIDED BELOW ELEVATION 551.50 = 0.038 AC-FT.

NOTE: RECHARGE VOLUME IS INCLUDED WITHIN THE IMPOUNDED WATER QUALITY VOLUME OF 0.038 AC-FT



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9	REVISED PER B.C.P.C. COMMENTS	W.J.K.	06/17/08			
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STORMWATER MANAGEMENT AREA #3 DETAILS

FOR **SUNDANCE VALLEY**

B.C.P.C. FILE NO. 030-06

SHEET NO. 28 OF 34

PROJECT NO. 051024

FILE NO. B-1724

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378 POND CONSTRUCTION SPECIFICATIONS

THESE SPECIFICATIONS ARE APPROPRIATE TO ALL PONDS WITHIN THE SCOPE OF THE STANDARD FOR PRACTICE MD-378. ALL REFERENCES TO ASTM AND AASHTO SPECIFICATIONS APPLY TO THE MOST RECENT VERSION.

SITE PREPARATION

AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT, AND STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL. ALL TREES, VEGETATION, ROCKS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED. CHANNEL BANKS AND SHARP BREAKS SHALL BE SLOPED TO NO STEEPER THAN 1:1.

AREAS TO BE COVERED BY THE RESERVOIR WILL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, RUBBISH AND OTHER OBJECTIONABLE MATERIAL UNLESS OTHERWISE DESIGNATED ON THE PLANS. TREES, BRUSH AND STRIPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE. FOR DRY STORMWATER MANAGEMENT PONDS, A MINIMUM OF A 50 FOOT RADIUS AROUND THE INLET STRUCTURE SHALL BE CLEARED.

ALL CLEARED AND GRUBBED MATERIAL SHALL BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE DAM AND RESERVOIR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE. WHEN SPECIFIED, A SUFFICIENT QUANTITY OF TOPSOIL WILL BE STOCKPILED IN A SUITABLE LOCATION FOR USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

EARTH FILL

MATERIAL - THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. IT SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", FROZEN OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT AND CUT OFF TRENCH SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL. CONSIDERATION MAY BE GIVEN TO THE USE OF OTHER MATERIALS IN THE EMBANKMENT IF DESIGN AND CONSTRUCTION ARE SUPERVISED BY A GEOTECHNICAL ENGINEER.

PLACEMENT - AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8 INCH THICK (BEFORE COMPACTION) LAYERS WHICH ARE TO BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. THE MOST PERMISSIBLE BORROW MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT. THE PRINCIPAL SPILLWAY MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.

COMPACTION - THE MOVEMENT OF THE HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRAVELLED BY NOT LESS THAN ONE TREAD TRACK OF THE EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A MINIMUM OF FOUR COMPLETE PASSES OF A SHEEPSFOOT, RUBBER TIERED OR VIBRATORY ROLLER. FILL MATERIAL SUFFICIENT TO OBTAIN THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT USED. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IF FORMED INTO A BALL, IT WILL NOT CRUMBLE YET NOT BE SO WET THAT WATER CAN BE SQUEEZED OUT.

DENSITY - DENSITY SHALL NOT BE LESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF THE OPTIMAL. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY, AND IS TO BE CERTIFIED BY THE ENGINEER AT THE TIME OF CONSTRUCTION. ALL COMPACTION IS TO BE DETERMINED BY AASHTO METHOD T-99.

CUT OFF TRENCH - THE CUTOFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE BOTTOM WIDTH OF THE TRENCH SHALL BE COVERED BY THE EQUIPMENT USED FOR EXCAVATION, WITH THE MINIMUM WIDTH BEING FOUR FEET. THE DEPTH SHALL BE AT LEAST FOUR FEET BELOW EXISTING GRADE OR AS SHOWN ON THE PLANS. THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE BACKFILL SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY.

STRUCTURE BACKFILL

BACKFILL ADJACENT TO PIPES OR STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FIL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE OR PIPE, UNLESS THERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE.

PIPE CONDUITS

ALL PIPES SHALL BE CIRCULAR IN CROSS SECTION.

CORRUGATED METAL PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR CORRUGATED METAL PIPE:

1. MATERIALS - (STEEL PIPE) - THIS PIPE AND ITS APPURTENANCES SHALL BE GALVANIZED AND FULLY BITUMINOUS COATED AND SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M-190 TYPE A WITH WATER TIGHT COUPLING BANDS. ANY BITUMINOUS COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. STEEL PIPES WITH POLYMERIC COATINGS SHALL HAVE A MINIMUM COATING THICKNESS OF 0.01 INCH (10 MIL) ON BOTH SIDES OF THE PIPE. THE FOLLOWING COATINGS OR AN APPROVED EQUAL MAY BE USED: NEXON, PLASTI-COTE, GLAC-KLAD, AND BETH-OL-LOY. COATED CORRUGATED STEEL PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M-245 AND M-246.

MATERIALS - (ALUMINUM COATED STEEL PIPE) - THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M-274 WITH WATER TIGHT COUPLING BANDS OR FLANGES. ANY ALUMINUM COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND.

MATERIALS - (ALUMINUM PIPE) - THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M-189 OR M-211 WITH WATER TIGHT COUPLING BANDS OR FLANGES. ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER. HOT DIP GALVANIZED BOLTS MAY BE USED FOR CONNECTIONS. THE PH OF THE SURROUNDING SOILS SHALL BE BETWEEN 4 AND 9.

2. COUPLING BANDS, ANTI-SEEP COLLARS, END SECTIONS, ETC., MUST BE COMPOSED OF THE SAME MATERIAL AS THE PIPE. METALS MUST BE INSULATED FROM DISSIMILAR MATERIALS WITH USE OF RUBBER OR PLASTIC INSULATING MATERIALS AT LEAST 24 MILS IN THICKNESS.

3. CONNECTIONS - ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATERTIGHT. THE DRAIN PIPE OR BARREL CONNECTION TO THE RISER SHALL BE WELDED ALL AROUND WHEN THE PIPE AND RISER ARE METAL. ANTI-SEEP COLLARS SHALL BE CONNECTED TO THE PIPE IN SUCH A MANNER AS TO BE COMPLETELY WATERTIGHT. Dimple bands are not considered to be watertight.

ALL CONNECTIONS SHALL USE A RUBBER OR NEOPRENE GASKET WHEN JOINING PIPE SECTIONS. THE END OF EACH PIPE SHALL BE REINFORCED WITH AN ADEQUATE NUMBER OF CORRUGATIONS TO ACCOMMODATE THE BAND WIDTH. THE FOLLOWING TYPE CONNECTIONS ARE ACCEPTABLE FOR PIPES LESS THAN 24" IN DIAMETER. FLANGES ON BOTH ENDS OF THE PIPE, A 12" WIDE STANDARD LAP TYPE BAND WITH 1/2" WIDE BY 3/8" THICK CLOSED CELL CIRCULAR NEOPRENE GASKET; AND A 12" WIDE HUBBED TYPE BAND WITH O-RING GASKETS HAVING A MINIMUM DIAMETER OF 1/2" GREATER THAN THE CORRUGATION DEPTH. PIPES 24" IN DIAMETER AND LARGER SHALL BE CONNECTED BY A 24" LONG ANNULAR CORRUGATED BAND USING RODS AND NUTS. A 12" WIDE BY 3/8" THICK CLOSED CELL CIRCULAR NEOPRENE GASKET WILL BE INSTALLED ON THE END OF EACH PIPE FOR A TOTAL OF 24" HELICALLY CORRUGATED PIPE SHALL HAVE EITHER CONTINUOUSLY WELDED SEAMS OR HAVE LOCK SEAMS WITH INTERNAL CAULKING OR A NEOPRENE BEAD.

THE EXCAVATION AT SUCH LOCATIONS WHICH MAY REQUIRE DRAINING THE WATER TO PUMPS FROM WHICH THE WATER SHALL BE PUMPED.

(CONTINUED)

4. BEDDING - THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH, WHERE ROCK OR SOFT, SPRONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.
5. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL."
6. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

REINFORCED CONCRETE PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR REINFORCED CONCRETE PIPE:

1. MATERIALS - REINFORCED CONCRETE PIPE SHALL HAVE BELL AND SPIGOT JOINTS WITH RUBBER GASKETS AND SHALL EQUAL OR EXCEED ASTM DESIGNATION C-351.
2. BEDDING - ALL REINFORCED CONCRETE PIPE CONDUITS SHALL BE Laid IN A CONCRETE BEDDING FOR THEIR ENTIRE LENGTH. THIS BEDDING SHALL CONSIST OF HIGH SLUMP CONCRETE PLACED UNDER THE PIPE AND UP THE SIDES OF THE PIPE AT LEAST 10% OF ITS OUTSIDE DIAMETER WITH A MINIMUM THICKNESS OF 3 INCHES, OR AS SHOWN ON THE DRAWINGS.
3. LAYING PIPE - BELL AND SPIGOT PIPE SHALL BE PLACED WITH THE BELL END UPSTREAM. JOINTS SHALL BE MADE IN ACCORDANCE WITH RECOMMENDATIONS OF THE MANUFACTURER OF THE MATERIAL. AFTER THE JOINTS ARE SEALED FOR THE ENTIRE LINE, THE BEDDING SHALL BE PLACED SO THAT ALL SPACES UNDER THE PIPE ARE FILLED. CARE SHALL BE EXERCISED TO PREVENT ANY DEVIATION FROM THE ORIGINAL LINE AND GRADE OF THE PIPE. THE FIRST JOINT MUST BE LOCATED WITHIN 2 FEET FROM THE RISER.
4. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL."
5. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

POLYVINYL CHLORIDE (PVC) PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR POLYVINYL CHLORIDE (PVC) PIPE:

1. MATERIALS - PVC PIPE SHALL BE PVC-1120 OR PVC-1220 CONFORMING TO ASTM D-1785 OR ASTM D-2241.
2. JOINTS AND CONNECTIONS TO ANTI-SEEP COLLARS SHALL BE COMPLETELY WATERTIGHT.
3. BEDDING - THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH, WHERE ROCK OR SOFT, SPRONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.
4. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL."
5. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

CONCRETE

CONCRETE SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 606, MIX NO. 3.

ROCK RIPRAP

ROCK RIPRAP SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 605.

THE RIPRAP SHALL BE PLACED TO THE REQUIRED THICKNESS IN ONE OPERATION. THE ROCK SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL INSURE THE RIPRAP IN PLACE SHALL BE REASONABLY HOMOGENEOUS WITH THE LARGER ROCKS UNIFORMLY DISTRIBUTED AND FIRMLY IN CONTACT ONE TO ANOTHER WITH THE SMALLER ROCKS FILLING THE VOIDS BETWEEN THE LARGER ROCKS. FILTER CLOTH SHALL BE PLACED UNDER RIPRAP AND SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 919.12.

CARE OF WATER DURING CONSTRUCTION

ALL WORK ON PERMANENT STRUCTURES SHALL BE CARRIED OUT IN AREAS FREE FROM WATER. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL TEMPORARY DIKES, LEVEES, COPPERDAMS, DRAINAGE CHANNELS, AND STREAM DIVERSIONS NECESSARY TO PROTECT THE AREAS TO BE OCCUPIED BY THE PERMANENT WORKS. THE CONTRACTOR SHALL ALSO FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL NECESSARY PUMPING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM THE VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, FOUNDATION, AND OTHER PARTS OF THE WORK FREE FROM WATER AS REQUIRED OR DIRECTED BY THE ENGINEER FOR CONSTRUCTING EACH PART OF THE WORK. AFTER HAVING SERVED THEIR PURPOSE, ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED OR LEVELED AND GRADED TO THE EXTENT REQUIRED TO PREVENT OBSTRUCTION IN ANY DEGREE WHATSOEVER OF THE FLOW OF WATER TO THE SPILLWAY OR OUTLET WORKS AND SO AS NOT TO INTERFERE IN ANY WAY WITH THE OPERATION OR MAINTENANCE OF THE STRUCTURE. STREAM DIVERSIONS SHALL BE MAINTAINED UNTIL THE FULL FLOW CAN BE PASSED THROUGH THE PERMANENT WORKS. THE REMOVAL OF WATER FROM THE REQUIRED EXCAVATION AND THE FOUNDATION SHALL BE ACCOMPLISHED IN A MANNER AND TO THE EXTENT THAT WILL MAINTAIN STABILITY OF THE EXCAVATED SLOPES AND BOTTOM OF REQUIRED EXCAVATIONS AND WILL ALLOW SATISFACTORY PERFORMANCE OF ALL CONSTRUCTION OPERATIONS. DURING THE PLACING AND COMPACTION OF MATERIAL IN REQUIRED EXCAVATIONS, THE WATER LEVEL AT THE LOCATIONS BEING REFILLED SHALL BE MAINTAINED BELOW THE BOTTOM OF

STABILIZATION

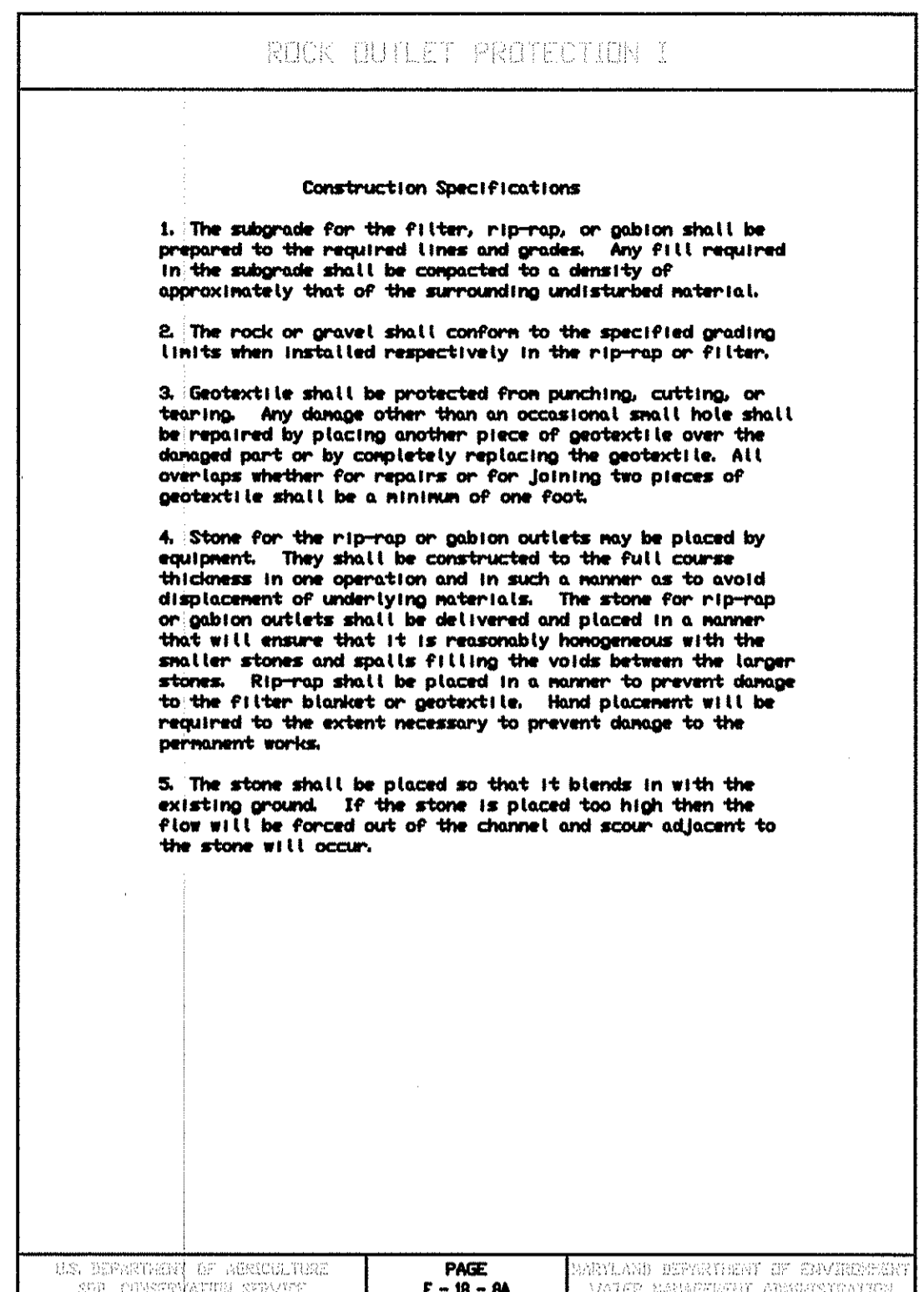
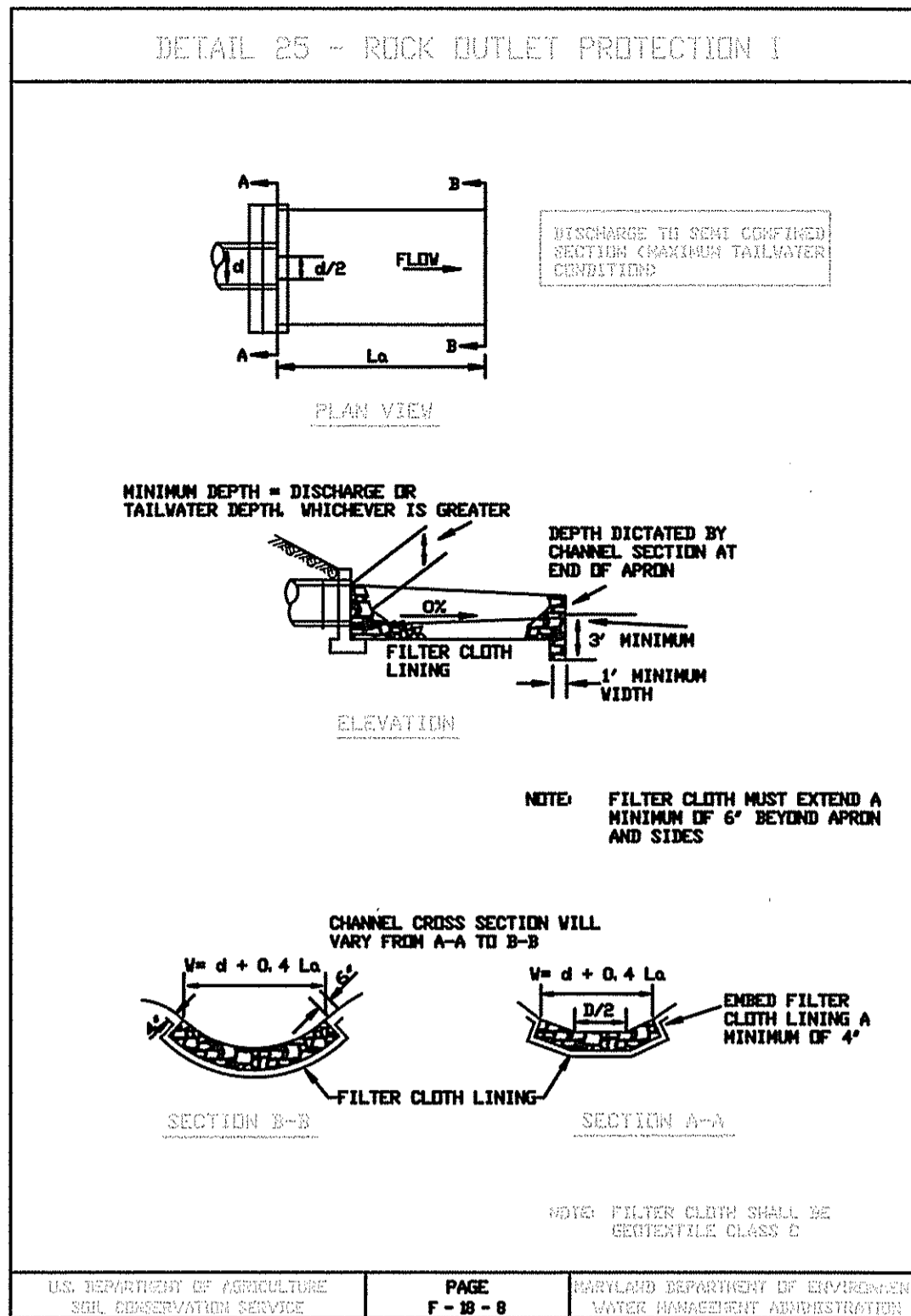
ALL BORROW AREAS SHALL BE GRADED TO PROVIDE PROPER DRAINAGE AND LEFT IN A SLIGHTLY UNIFORM CONDITION. ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, SPOIL AND BORROW AREAS, AND BERMS SHALL BE STABILIZED BY SEEDING, LIMING, FERTILIZING AND MULCHING IN ACCORDANCE WITH THE MARYLAND SOIL CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS FOR CRITICAL AREA PLANTING (SOP-342) OR AS SHOWN ON THE ACCOMPANYING DRAWINGS.

EROSION AND SEDIMENT CONTROL

CONSTRUCTION OPERATIONS WILL BE CARRIED OUT IN SUCH A MANNER THAT EROSION WILL BE CONTROLLED AND WATER AND AIR POLLUTION MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT WILL BE FOLLOWED. CONSTRUCTION PLANS SHALL DETAIL EROSION AND SEDIMENT CONTROL MEASURES TO BE EMPLOYED DURING THE CONSTRUCTION

NOTES:

1. IF ROCK IS ENCOUNTERED WITHIN THE STORMWATER MANAGEMENT POND AREA, UNDER CUT TO A DEPTH OF 24" BELOW FINISH GRADE AND BACKFILL/CONTACT WITH A "CL" SOIL MATERIAL AND/OR A SYNTHETIC LINER.
2. ALL POND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL THE SOIL CONSERVATION SERVICE MARYLAND STANDARDS AND SPECIFICATIONS POND CODE 378.
3. THE STORMWATER MANAGEMENT POND SHALL BE INSPECTED DAILY DURING THE PROJECT, ANY AND ALL ACCUMULATED DEBRIS SHALL BE REMOVED IMMEDIATELY.
4. IF ROCK IS ENCOUNTERED WITHIN THE CORE TRENCH, THE CONTRACTOR SHALL REMOVE ROCK FRAGMENTS DOWN TO COMPETENT ROCK AND BEGIN CORE TRENCH CONSTRUCTION, BLASTING WITHIN THE CORE TRENCH WILL NOT BE PERMITTED.
5. THE CORE TRENCH AND EARTH DAM ARE TO BE COMPACTED TO A MINIMUM 95% OF MAXIMUM DRY DENSITY.
6. THE ENTIRE POND AREA IS TO BE PLANTED IN GRASS ONLY.
7. ALL PIPE JOINTS SHALL BE WATERTIGHT.
8. POND EMBANKMENT MATERIAL SHALL BE OBTAINED FROM STORMWATER MANAGEMENT AREA POOL EXCAVATION.



STRUCTURAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
2. NOTES AND DIMENSION ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE MORE STRINGENT REQUIREMENTS OF THE MINIMUM STANDARDS LISTED IN THE GOVERNING CODE OR AS INDICATED HEREON. GOVERNING CODE SHALL BE E.O.C.A. 1993 OR CURRENTLY EDITION.
4. COORDINATE THESE DRAWINGS WITH THE CIVIL DRAWINGS, ANY INCONSISTENCIES SHALL BE REPORTED TO THE ENGINEER FOR INSTRUCTIONS ON HOW TO PROCEED.
5. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE EXISTING CONDITIONS AND PROPOSED STRUCTURE DURING CONSTRUCTION, INCLUDING ALL BRACING AND SHORING REQUIRED TO RESIST THE ACTUAL CONSTRUCTION LOADS.
6. ASTM SPECIFICATIONS LISTED SHALL BE THE LATEST EDITION.
7. DESIGN LIVE LOADS: LATERAL LOAD OF RETAINED MATERIAL BASED ON: UNIT WEIGHT OF MATERIAL = 120 PCF LATERAL LOAD DUE TO HYDROSTATIC LOADING = 63 PCF

FOUNDATION

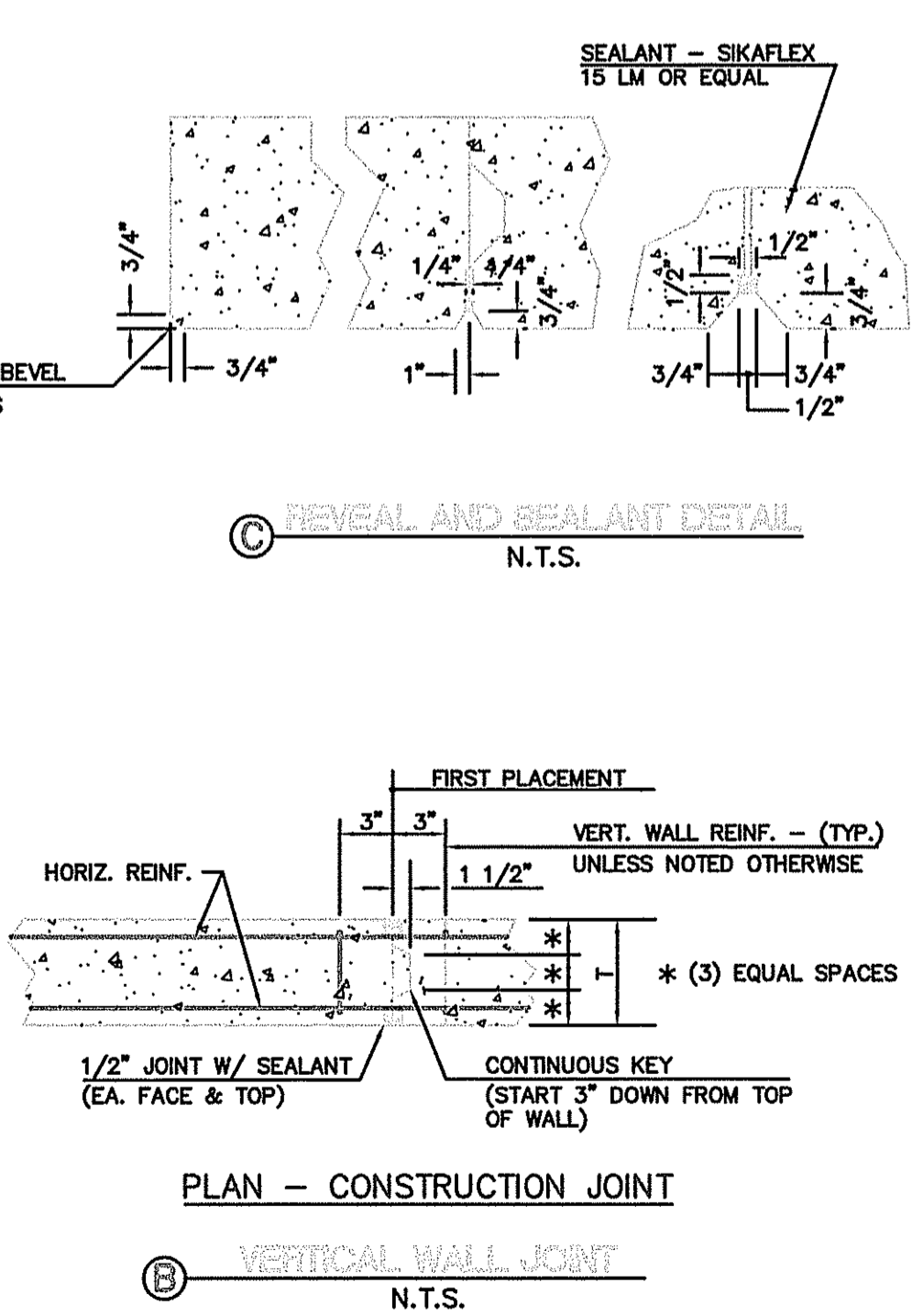
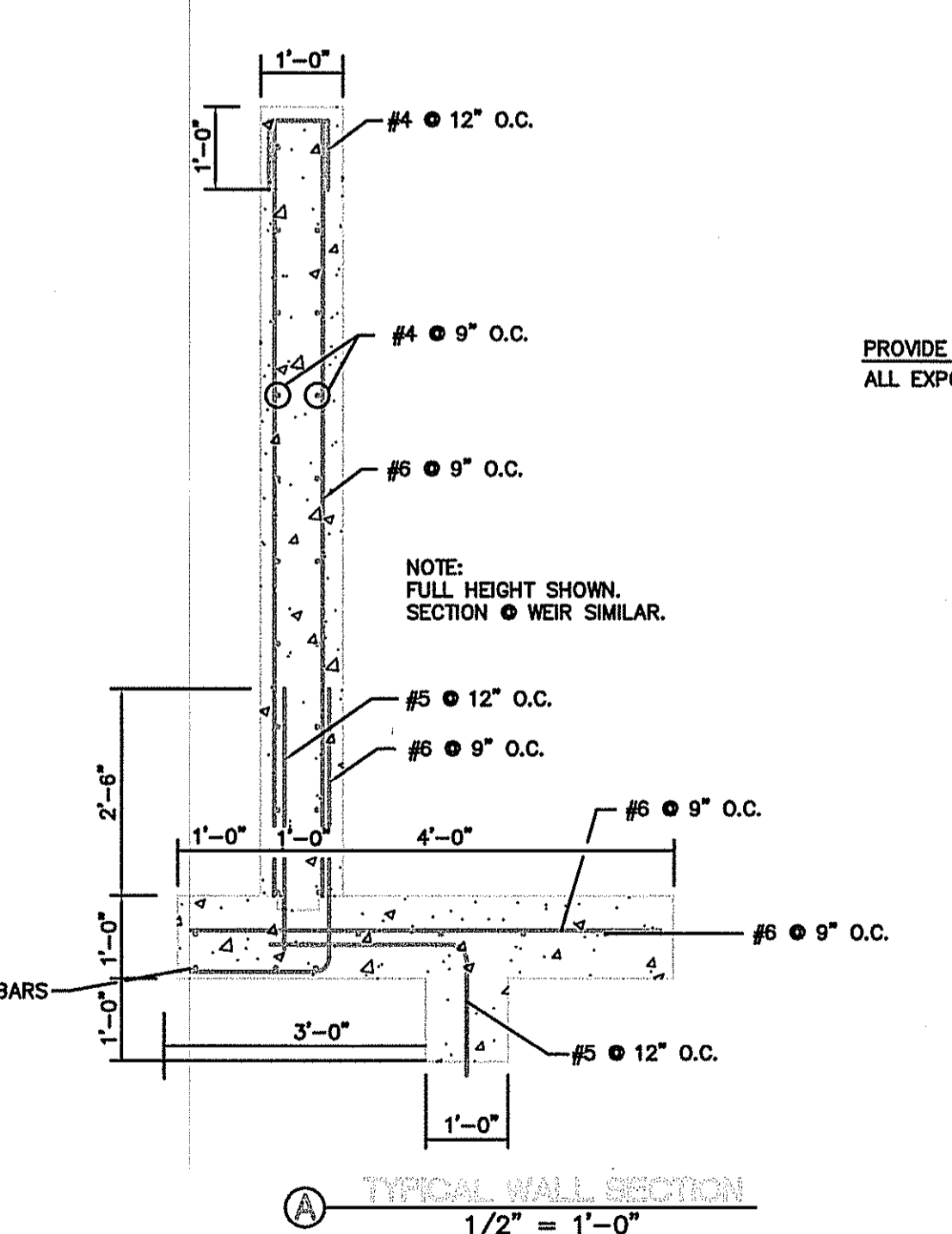
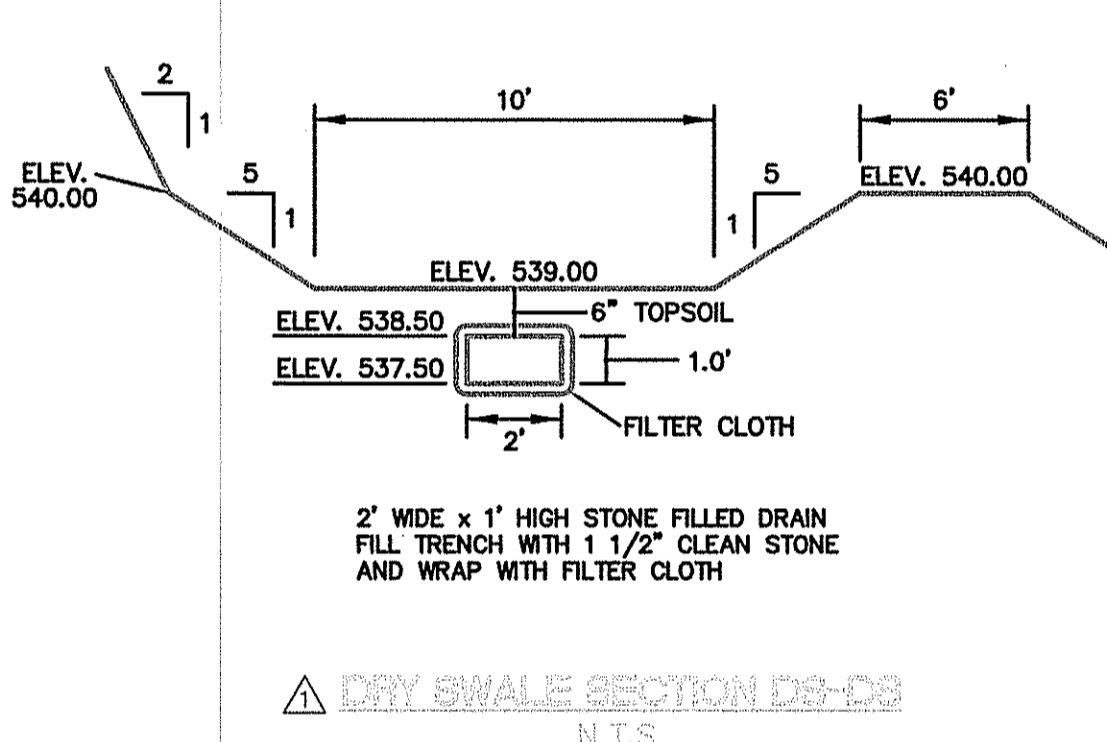
1. NO FOUNDATION SUBSURFACE INVESTIGATION HAS BEEN PERFORMED FOR THIS PROJECT.
2. FOUNDATIONS HAVE BEEN DESIGNED BASED ON AN ALLOWABLE BEARING PRESSURE EQUAL TO 3,000 PSF AVERAGE TOE PRESSURE.
3. THE CONTRACTOR SHALL PROVIDE FOR ALL DE-WATERING, SHORING, BRACING, ETC. REQUIRED TO PLACE THE FOUNDATIONS AS INDICATED.
4. IF FOUNDATION MATERIAL IS UNCOVERED AND DETERMINED NOT TO BE CAPABLE OF SUPPORTING THE PRESSURE INDICATED, THE UNDERLYING MATERIAL SHALL BE OVER-EXCAVATED UNTIL COMPETENT MATERIAL IS FOUND AND BACKFILLED WITH CRUSHED STONE COMPACTED TO 95% MAXIMUM DENSITY.

CONCRETE

1. ALL CONCRETE SHALL CONFORM WITH THE REQUIREMENTS OF THE A.C.I. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-89). CONCRETE FOR WALLS AND FOOTINGS 3,000 PSI
2. CLEAR COVERAGE OVER OUTER REINFORCING BAR SHALL BE AS FOLLOWS: CONCRETE ALL LOCATIONS 3 INCHES
3. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND APPROVED BY THE STRUCTURAL ENGINEER.
4. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE 1A IF CONCRETE IS IN CONTACT WITH SOIL OR SUBJECT TO FREEZING AND THAWING.
5. AGGREGATE FOR CONCRETE SHALL CONFORM TO ALL THE REQUIREMENTS AND TESTS OF ASTM C-33 AND PROJECT SPECIFICATIONS.

REINFORCING STEEL

1. REINFORCING STEEL SHALL CONFORM TO ASTM DESIGNATION A-615 GRADE 60. TIES AND STIRRUPS MAY BE GRADE 40.
2. ALL REINFORCING SHALL BE DETAILED AND PLACED IN CONFORMANCE WITH THE 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE' (ACI LATEST APPROVED EDITION), AND THE 'MANUAL OF STANDARD PRACTICE FOR CONCRETE REINFORCEMENT' BY C.R.S.I.
3. ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
4. DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL BE THE SAME SIZE, GRADE, AND SPACING OR NUMBER AS THE VERTICAL REINFORCING, RESPECTIVELY.



NO.	REVISION	BY	DATE	APP'D	SCALE	AS NOTED
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7						
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1						

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 ENGINEERS ARCHITECTS PLANNERS SURVEYORS
 P.O. BOX 246 HAGERSTOWN, MARYLAND 21741
 TELEPHONE 301-739-5660

STORMWATER MANAGEMENT AREA DETAILS
 FOR
SUNDANCE VALLEY

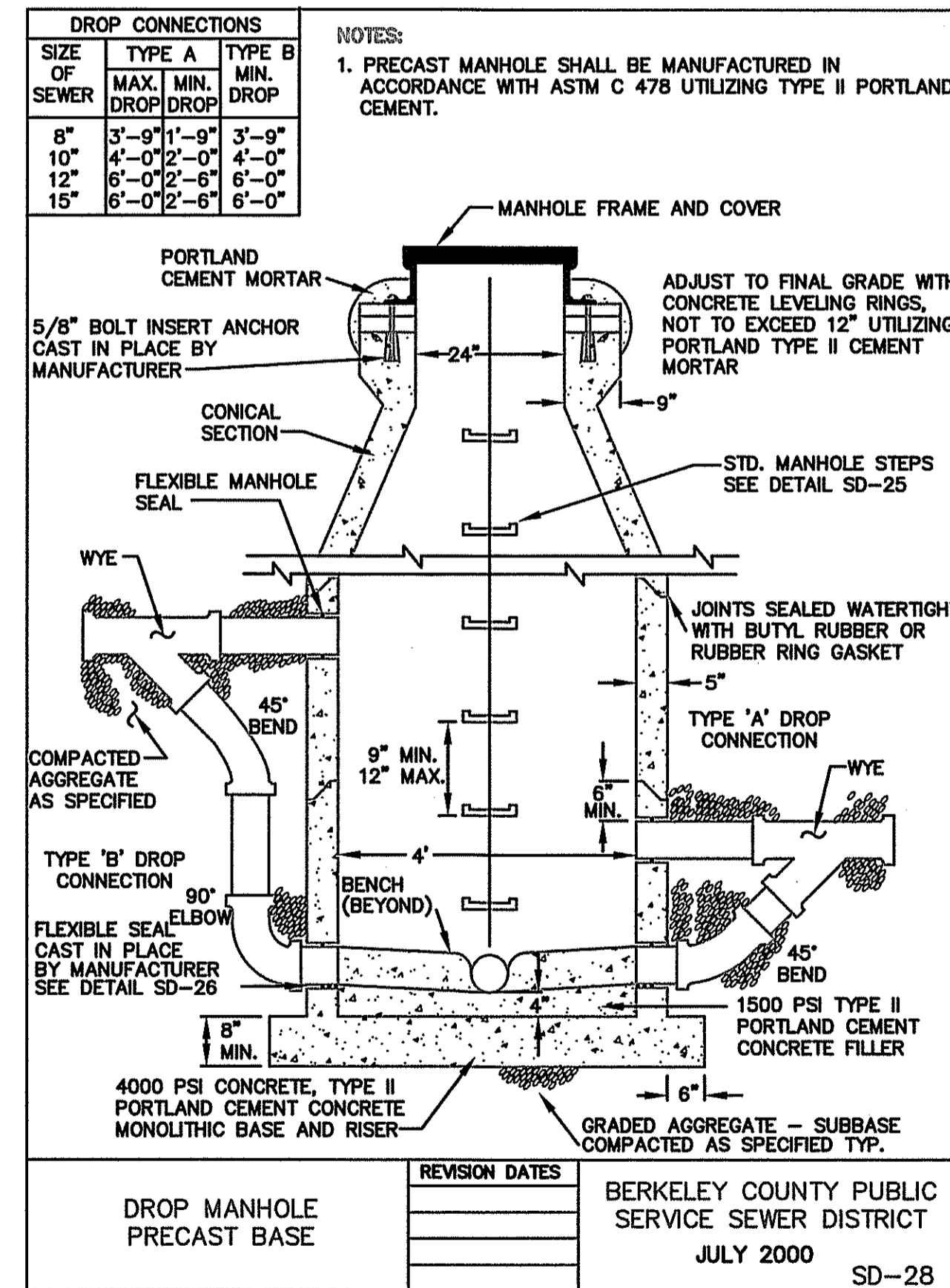
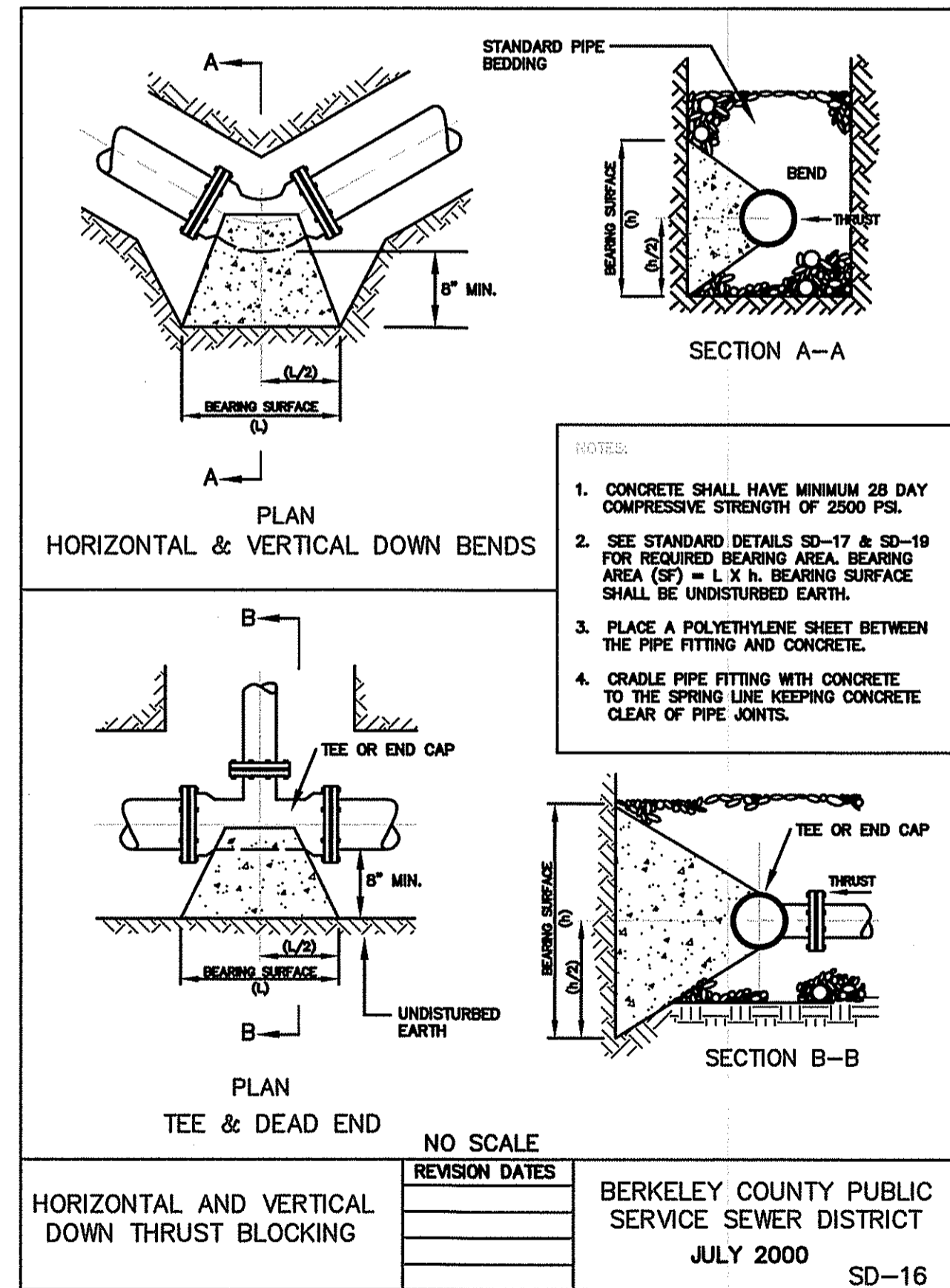
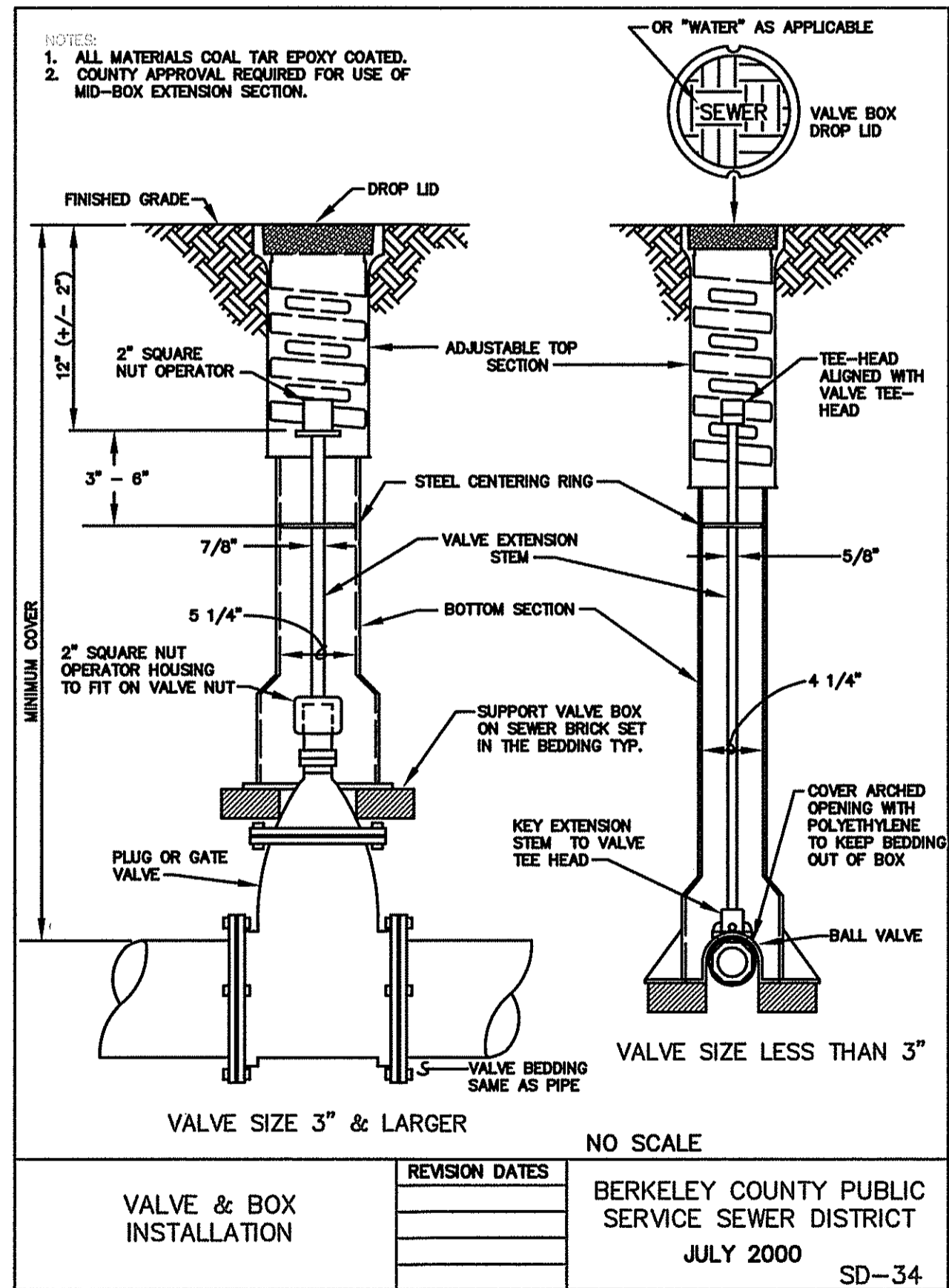
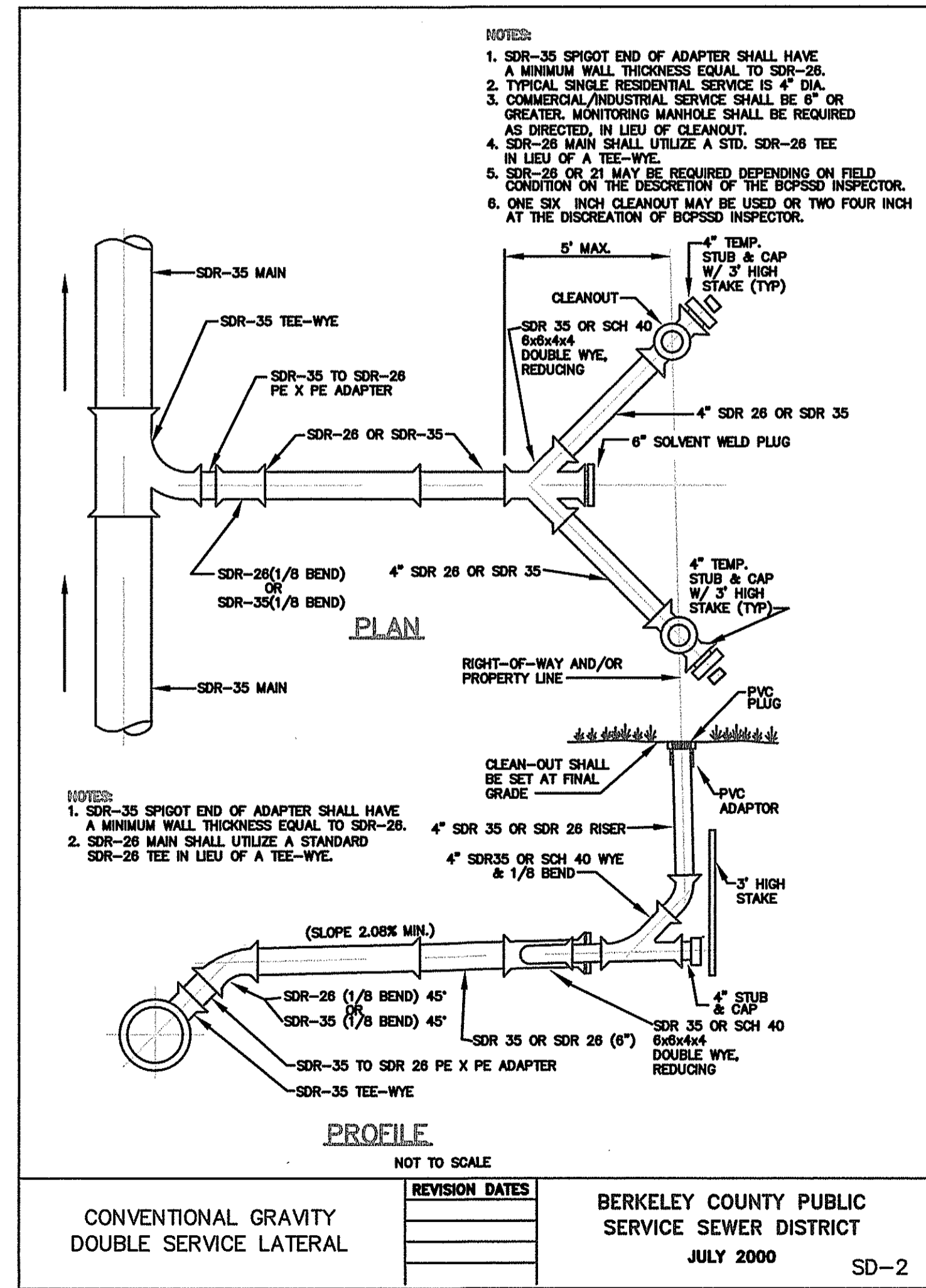
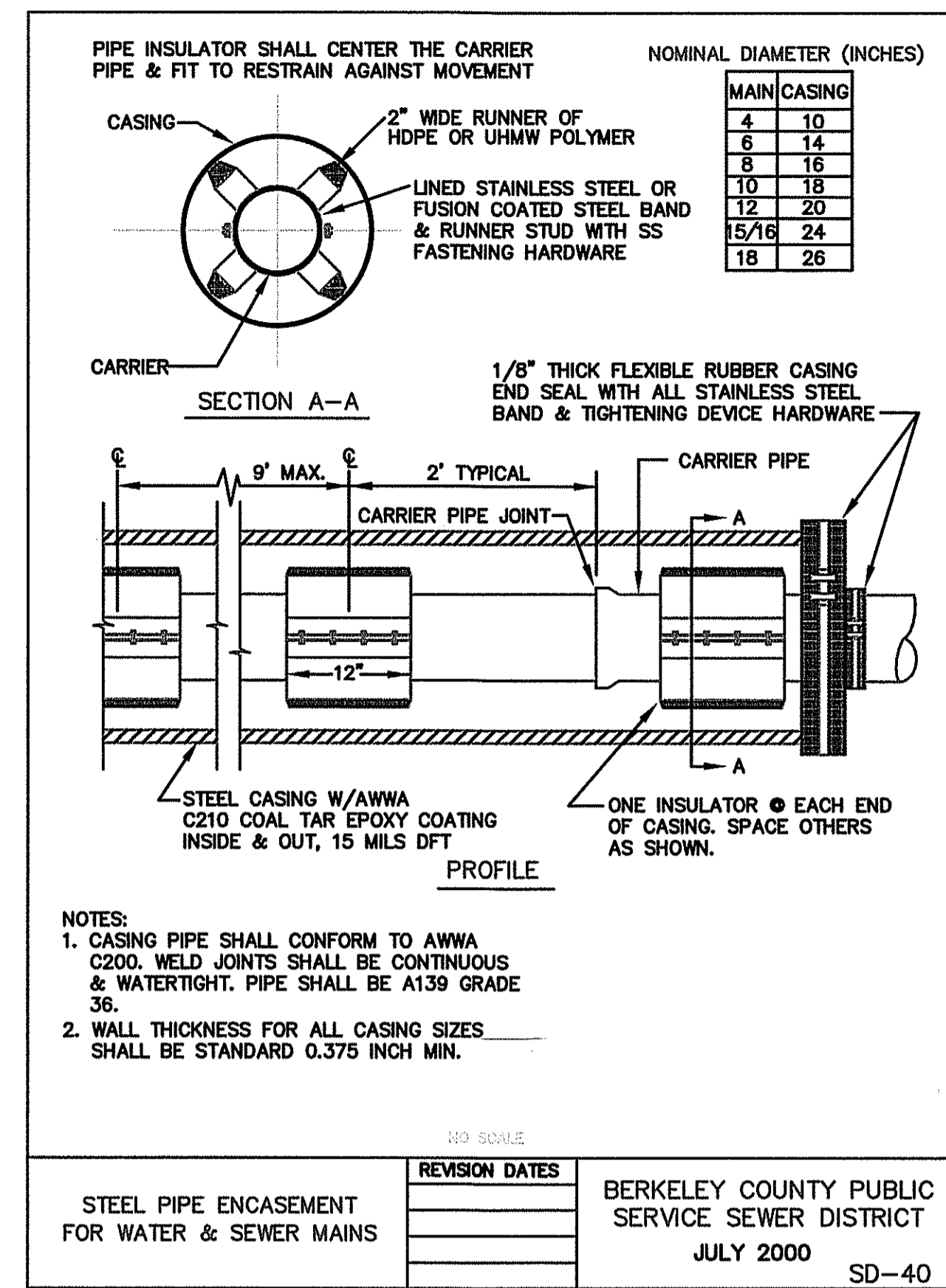
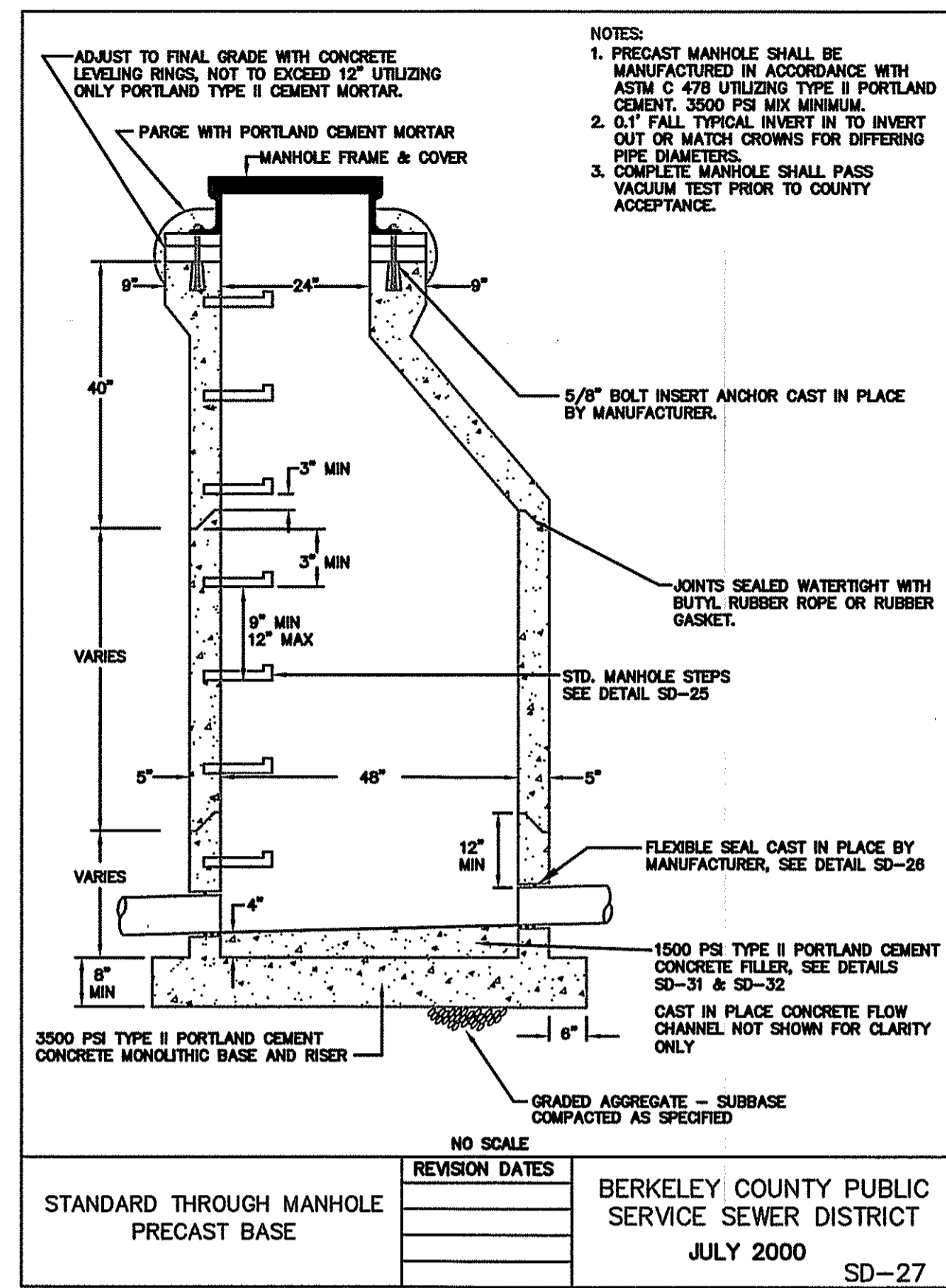
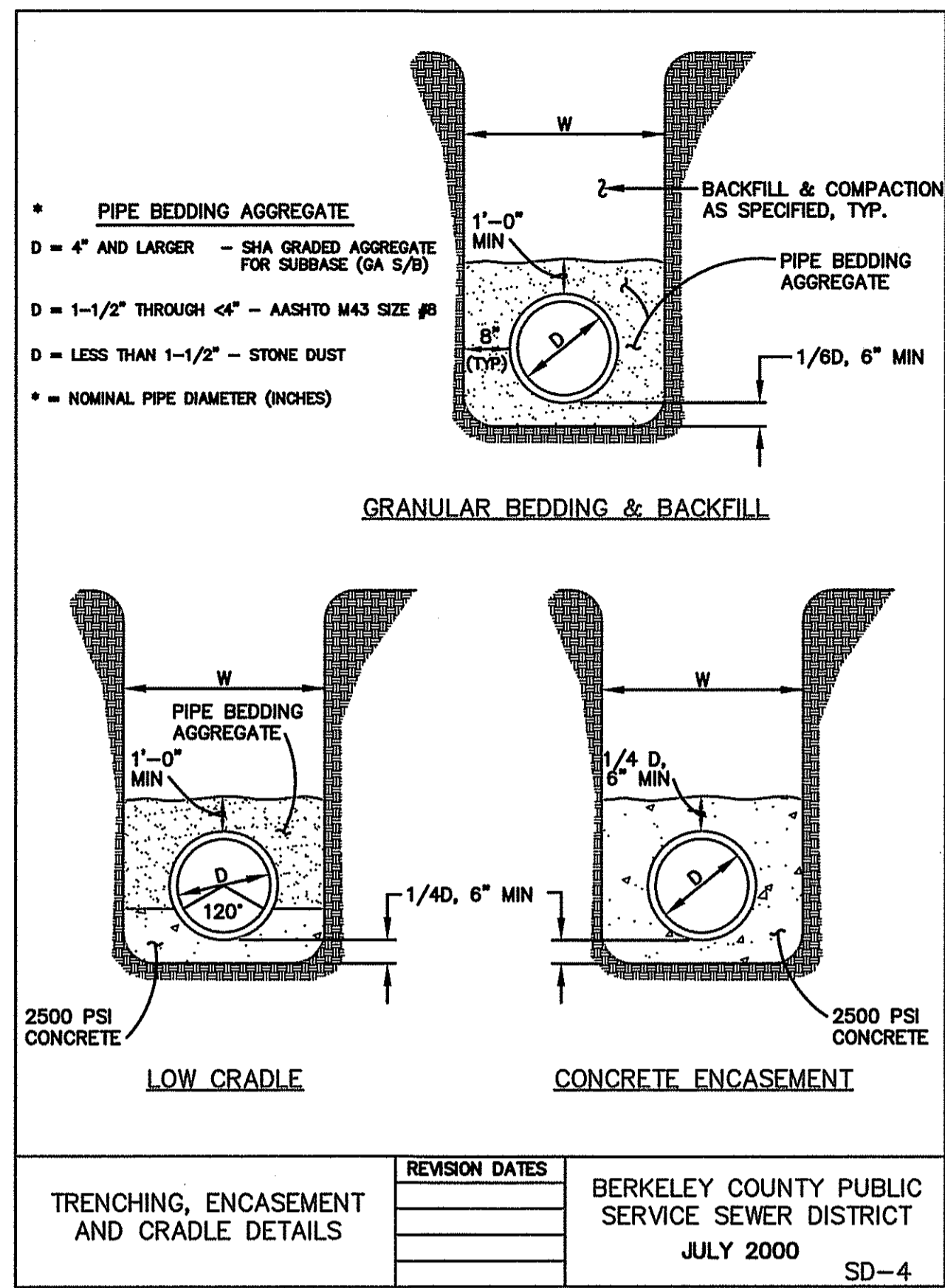
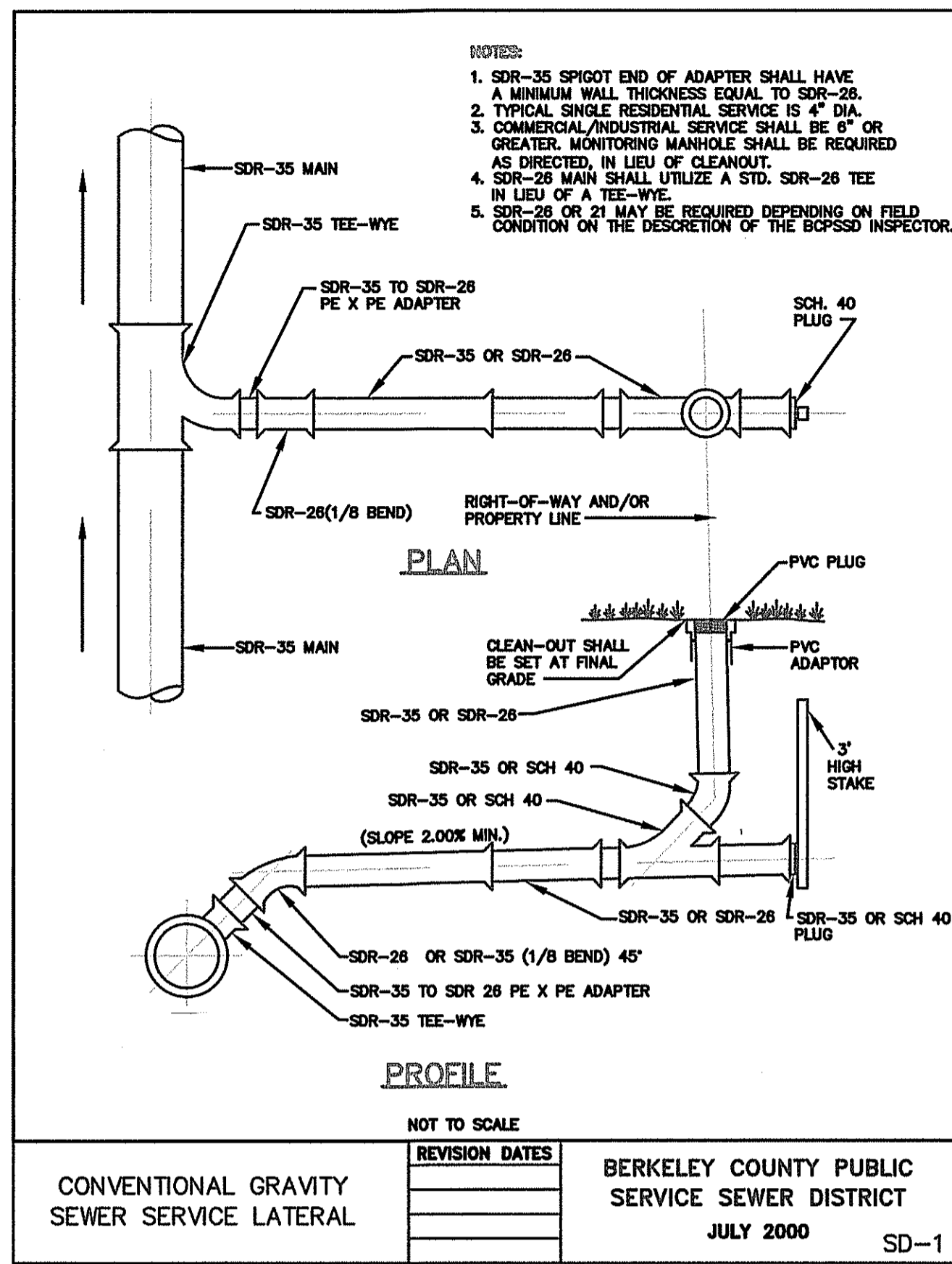
REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

FILE NO. **B-1724**

SHEET NO. **29** OF **34**
 PROJECT NO. **051024**
 FILE NO. **B-1724**

Δ B.C.P.C. FILE NO. 030-06

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SANITARY SEWER DETAILS CONTINUED ON SHEET 31

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8		3
7		2
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REVISION

REVISION PER B.C.P.C. COMMENTS

W.J.K. 06/17/08

DATE

APP'D

SCALE NONE

DRAWN BY G.A.S.
 DATE 03/01/07
 CHECKED BY S.C.C.
 DATE 03/01/07
 APPROVED BY M.E.R.
 DATE 03/01/07

DAVIS, RENN & ASSOCIATES, INC.

ENGINEERS ARCHITECTS PLANNERS SURVEYORS

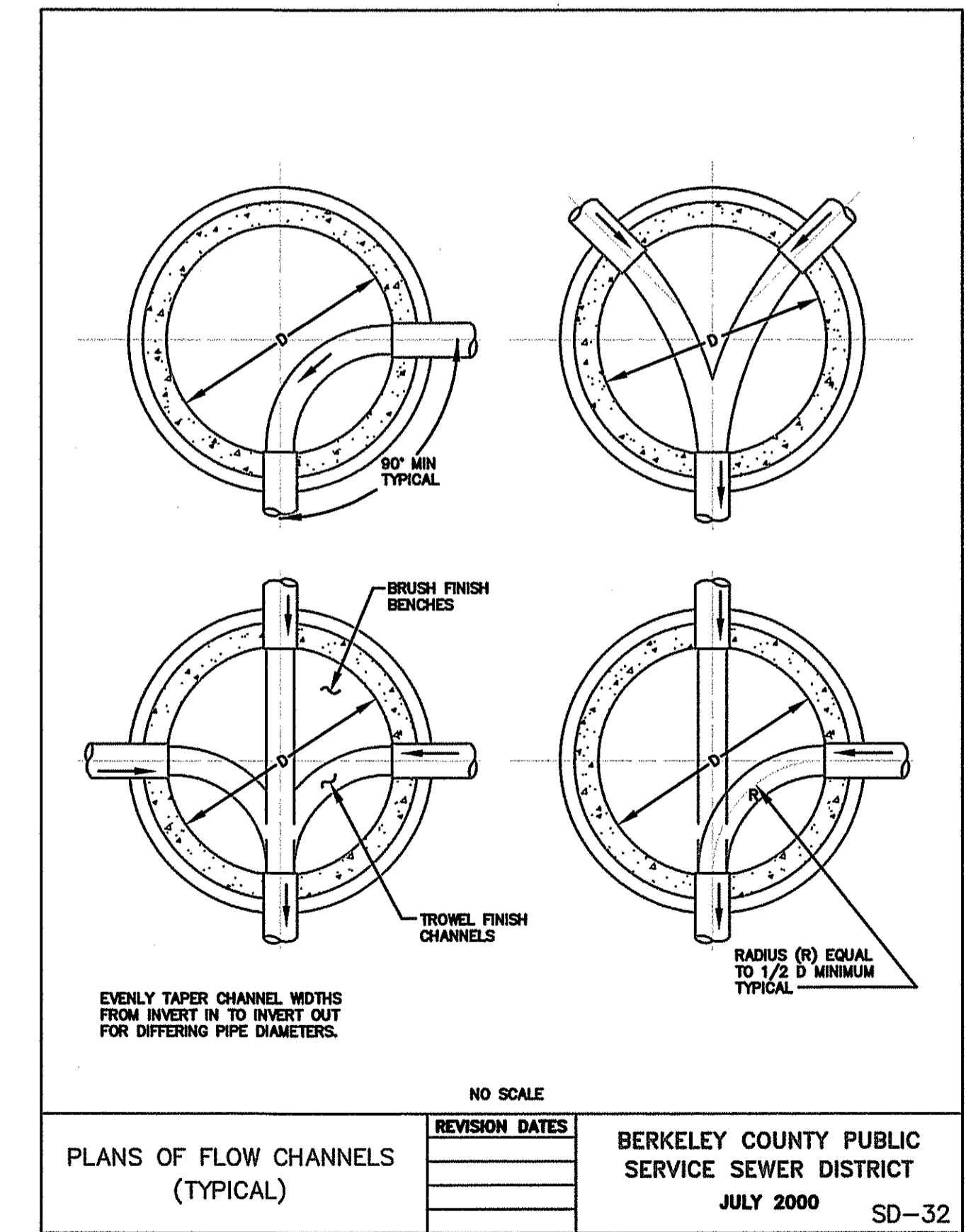
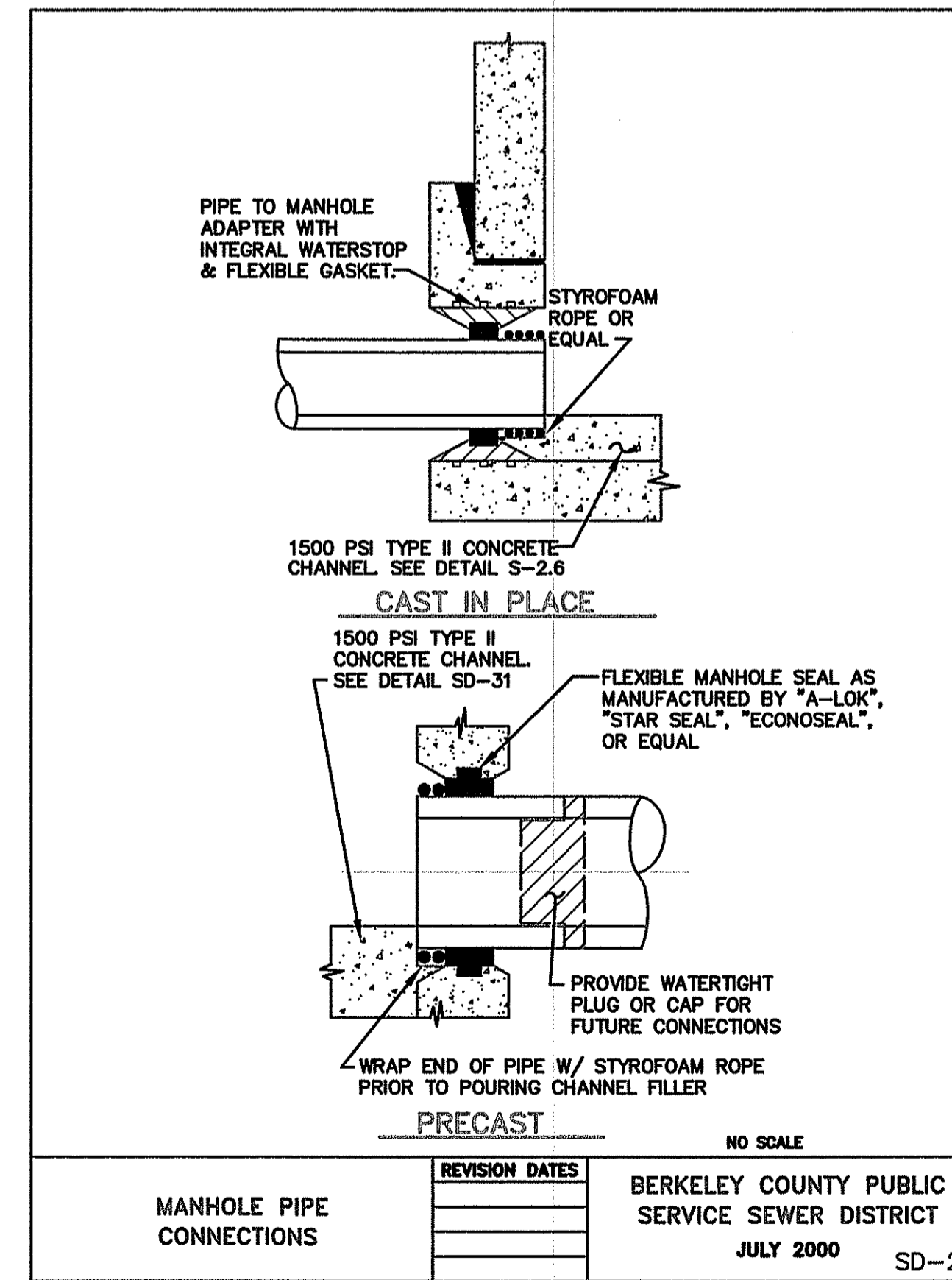
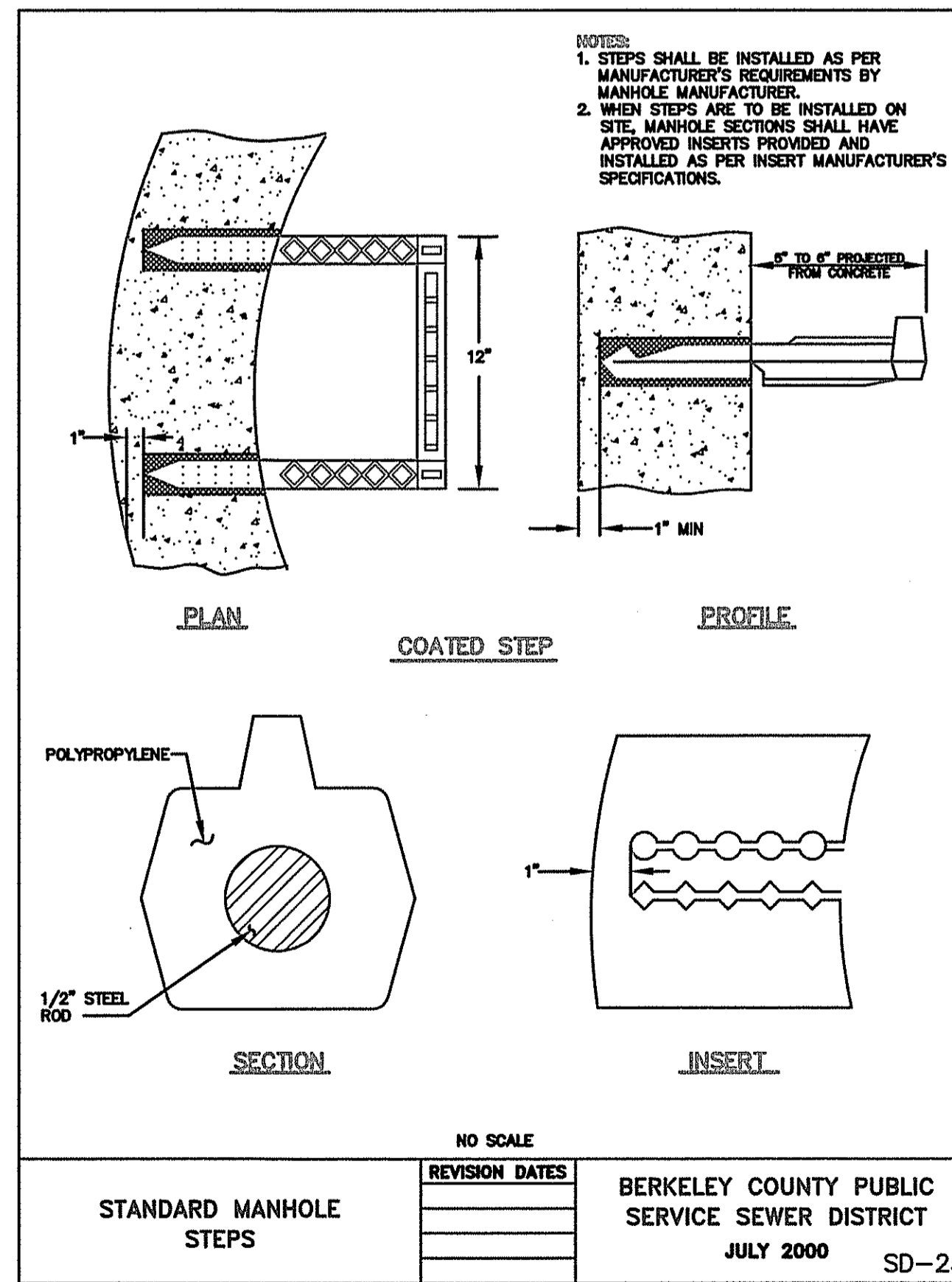
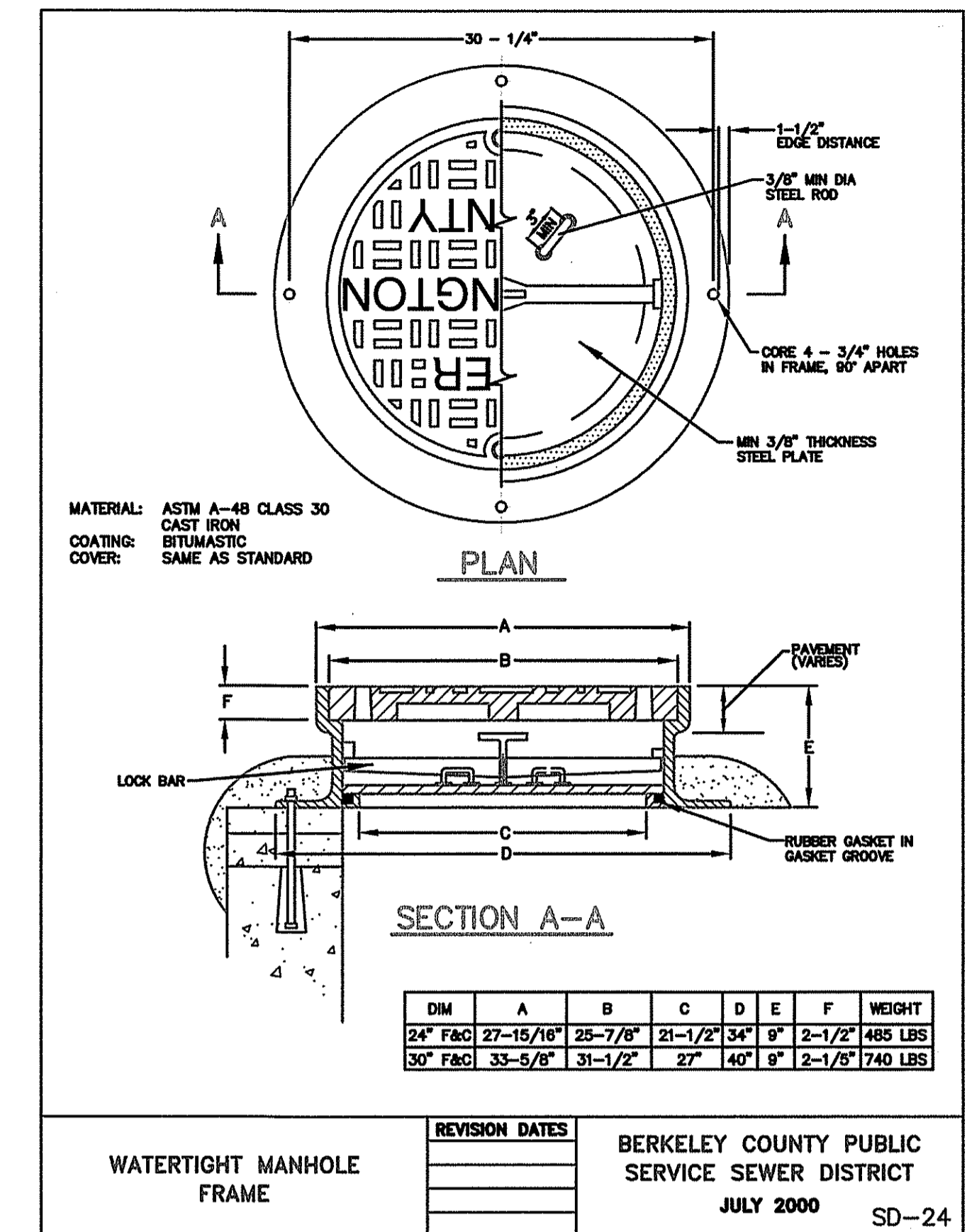
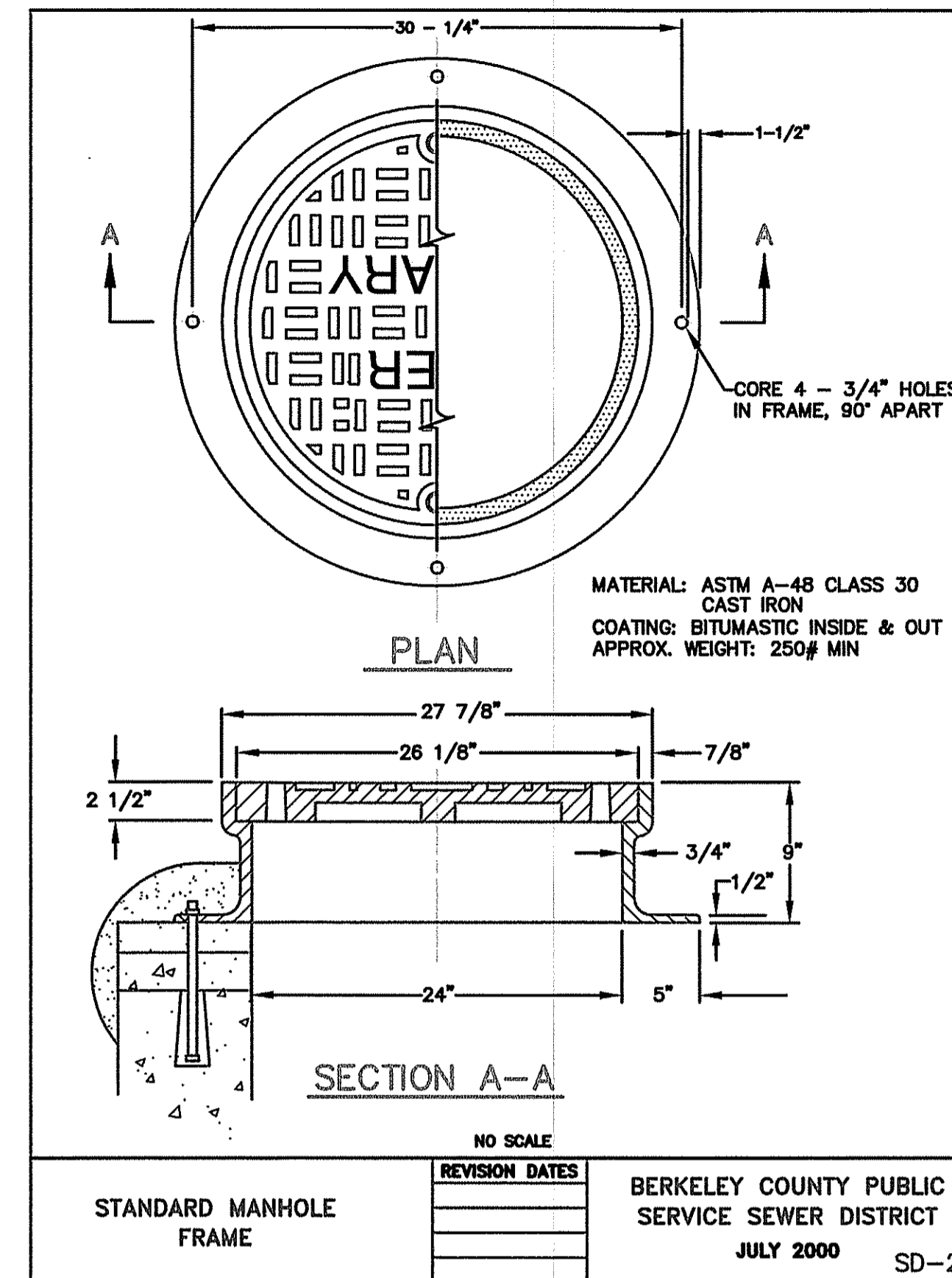
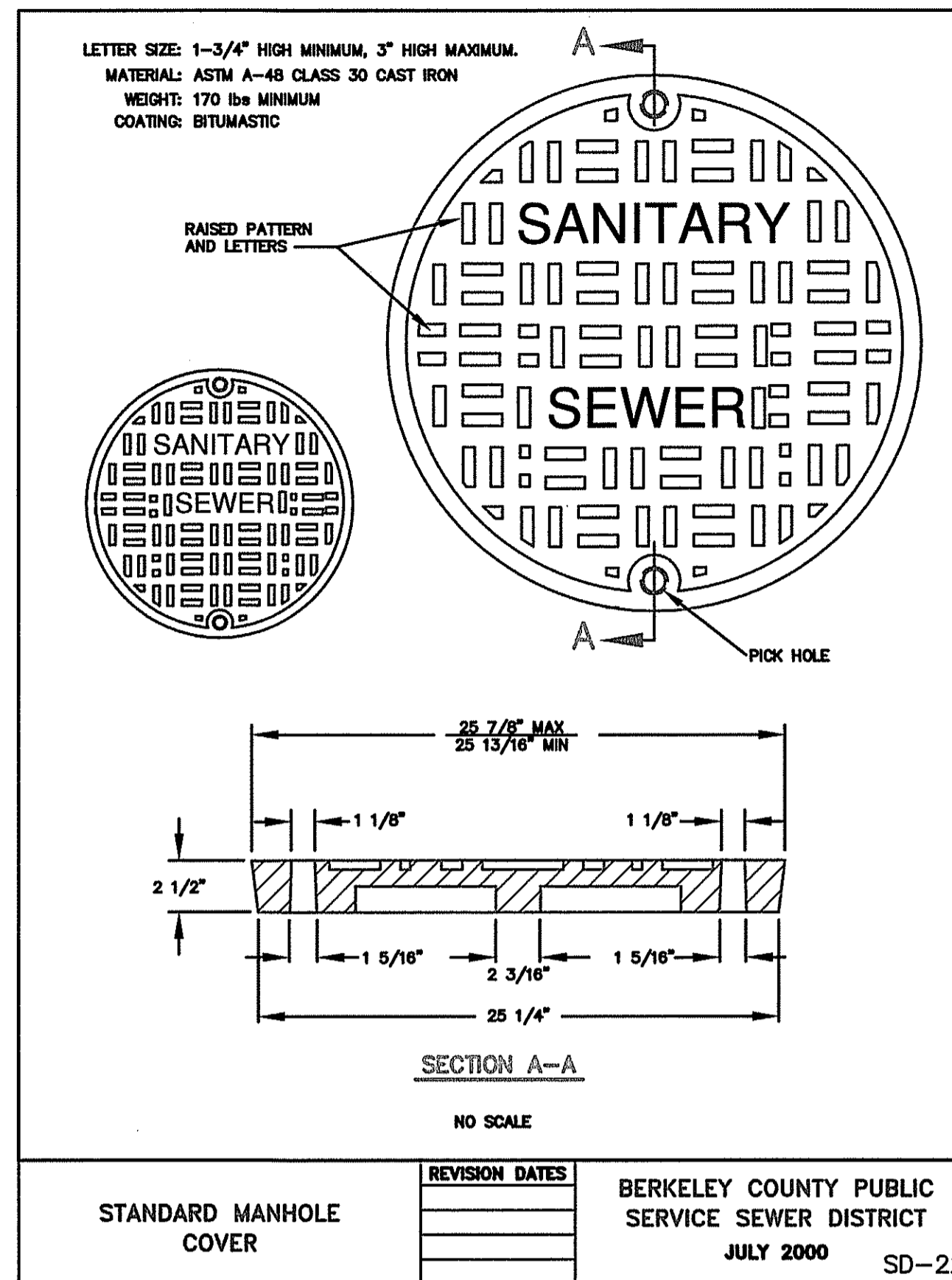
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B.C.P.C. FILE NO. 030-06

SANITARY SEWER DETAILS FOR SUNDANCE VALLEY

REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

SHEET NO. 30 OF 34
 PROJECT NO. 051024
 FILE NO. B-1724



SANITARY SEWER DETAILS CONTINUED ON SHEET 30

B.C.P.C. FILE NO. 030-06

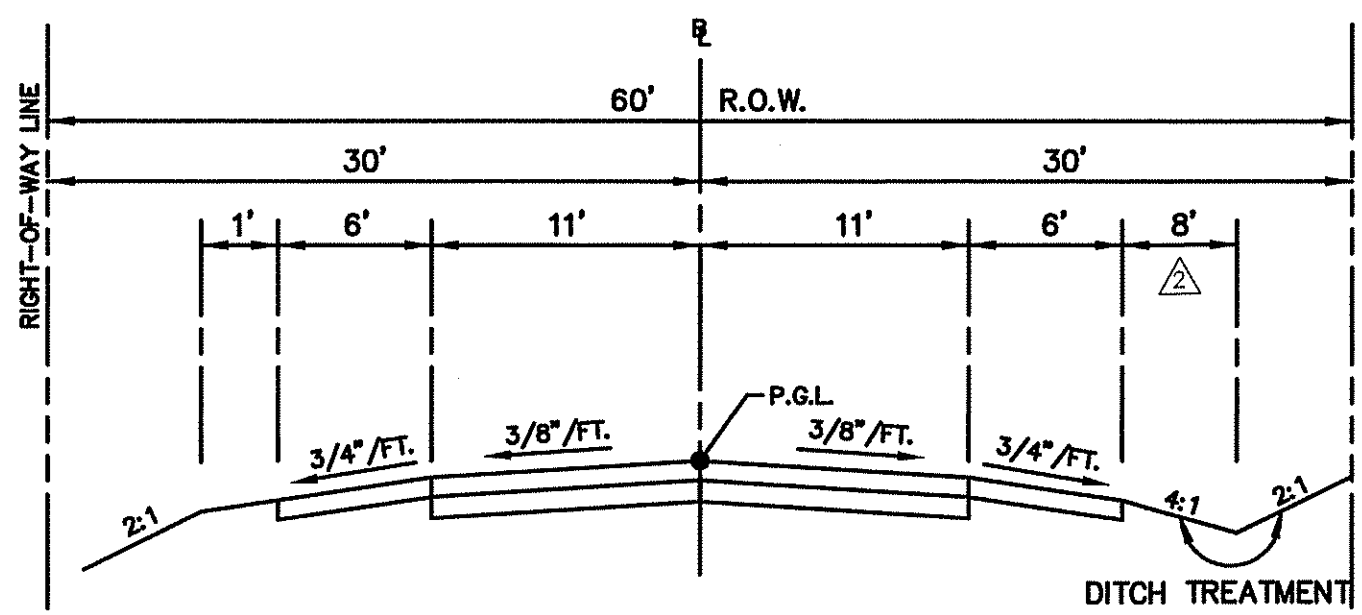
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No.	REVISION	BY	DATE	APP'D	SCALE
					NONE

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SANITARY SEWER DETAILS FOR SUNDANCE VALLEY
 REGISTRATION NO. TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

SHEET NO.	31 OF 34
PROJECT NO.	051024
FILE NO.	B-1724

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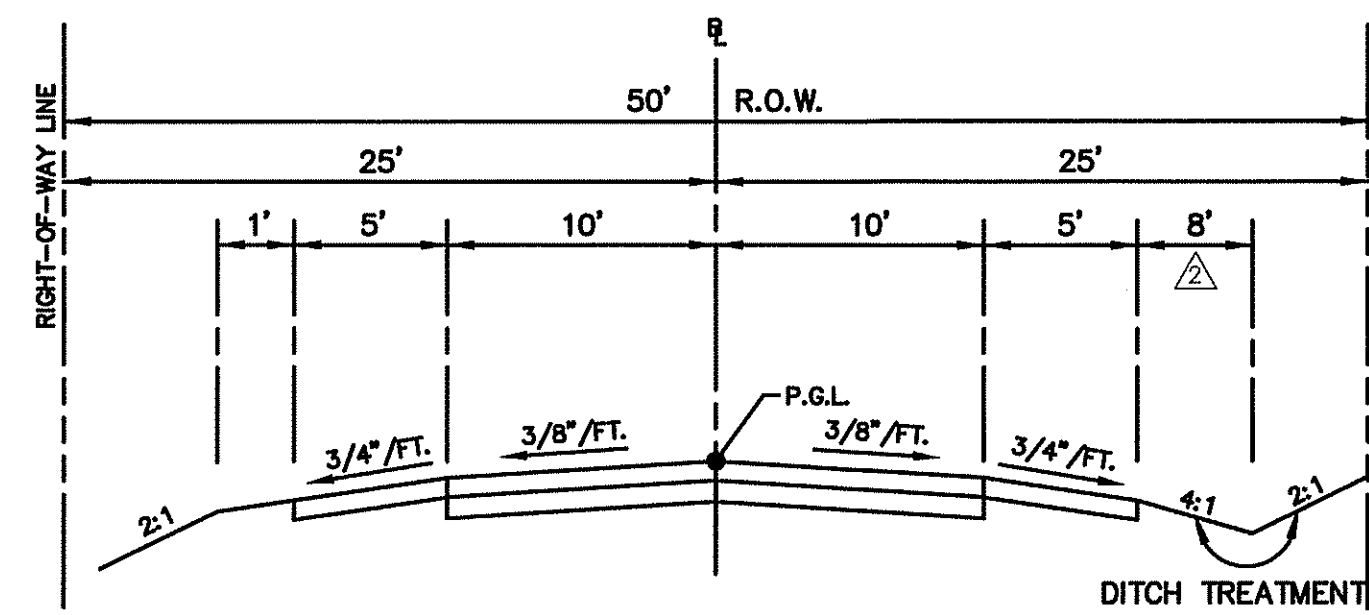


MODIFIED CLASS 1 ROAD - TYPICAL SECTION

NO SCALE

SLOPE
0%–3%
3%–10%
OVER 10%

MATERIAL
SOD OR SEED & MULCH
JUTE MATTING OR RIPRAP
RIPRAP

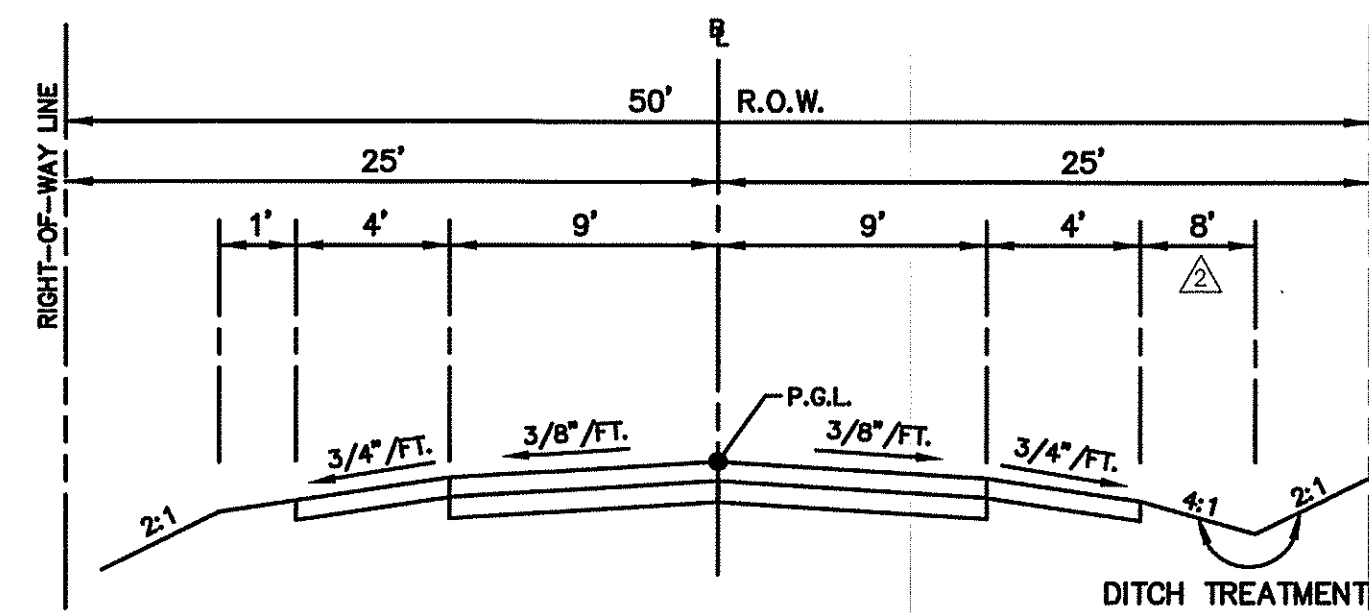


MODIFIED CLASS 2 ROAD - TYPICAL SECTION

NO SCALE

SLOPE
0%–3%
3%–10%
OVER 10%

MATERIAL
SOD OR SEED & MULCH
JUTE MATTING OR RIPRAP
RIPRAP

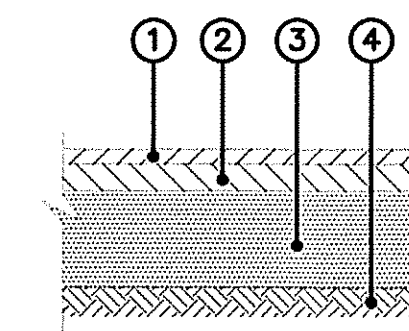


MODIFIED CLASS 3 ROAD - TYPICAL SECTION

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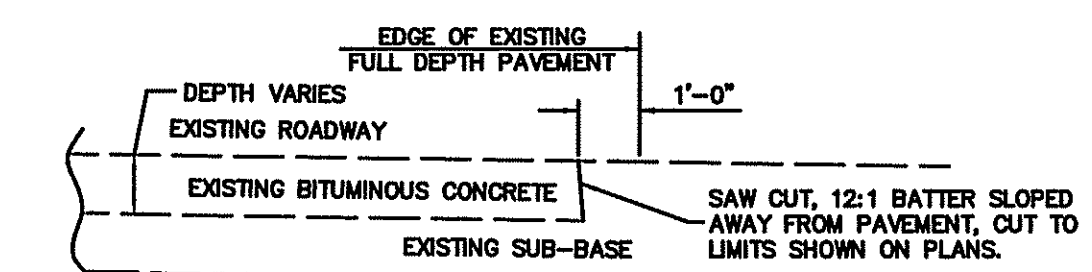
SLOPE
0%–3%
3%–10%
OVER 10%

MATERIAL
SOD OR SEED & MULCH
JUTE MATTING OR RIPRAP
RIPRAP

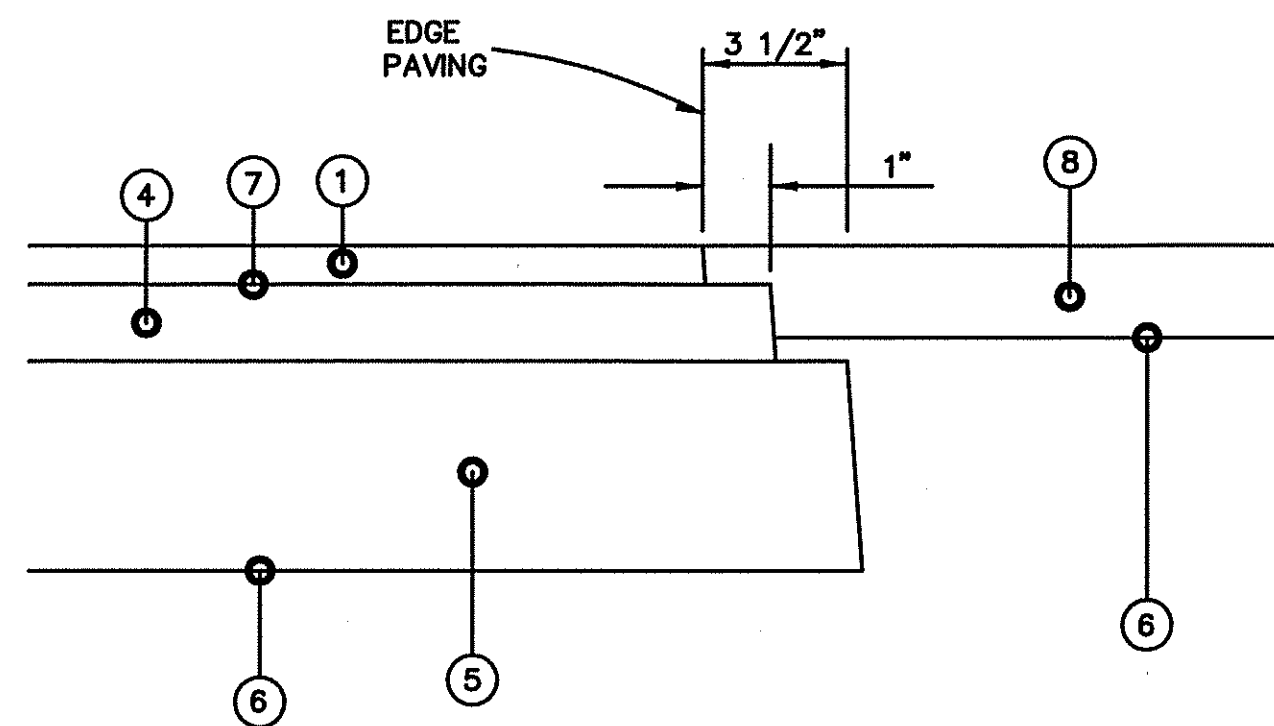


PAVEMENT SECTION - WV ROUTE 13
NO SCALE

- 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE (WEARING No. 2)
- 3" BITUMINOUS CONCRETE BASE COURSE (BASE No. 2)
- 8" - 1 1/2" CRUSHER RUN STONE
- PREPARED SUBGRADE



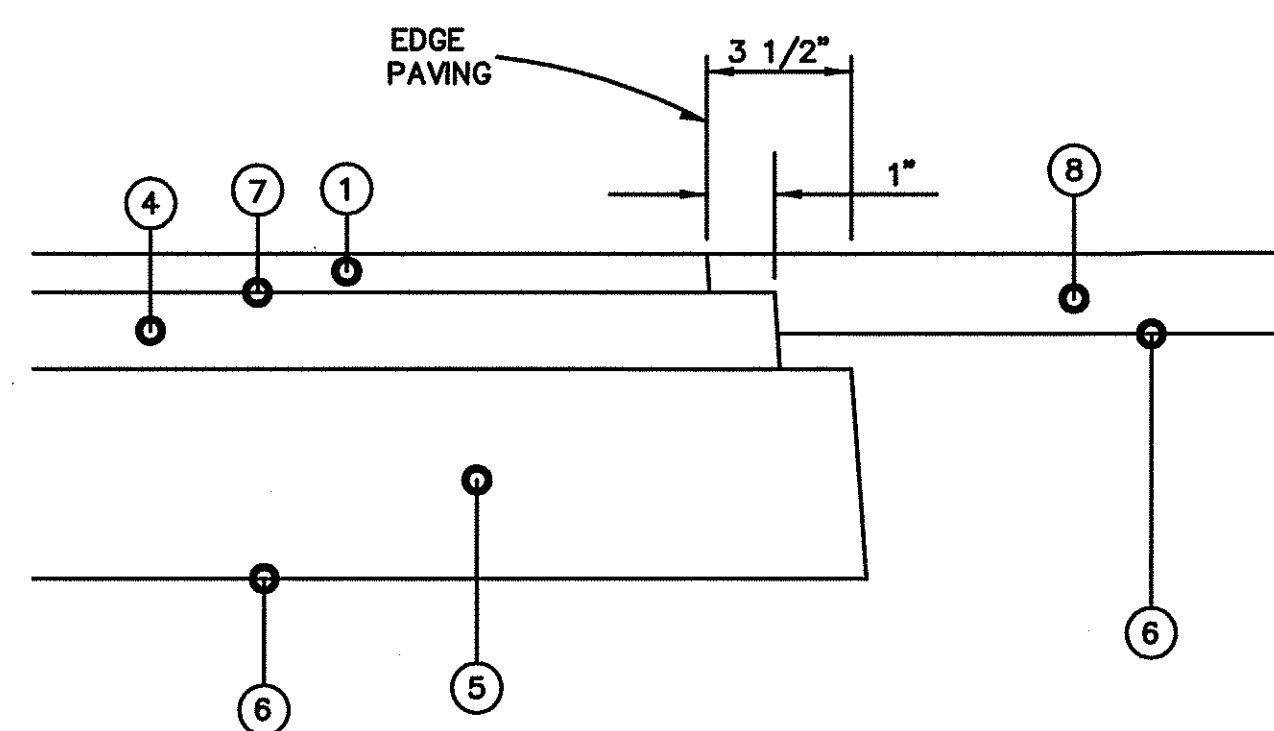
SAW CUT DETAIL
NO SCALE



MODIFIED PAVEMENT SECTION - CLASS 1, 2 AND COMMERCIAL OR INDUSTRIAL STREET

NO SCALE

- STONE BASE**
- 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE
 - 3" BITUMINOUS CONCRETE BINDER COURSES
 - 7" CRUSHER RUN BASE (2-3 1/2" COURSES)
 - PREPARED SUBGRADE
 - TACK COAT
 - SHOULDERS: 3" BITUMINOUS CONCRETE BINDER COURSE



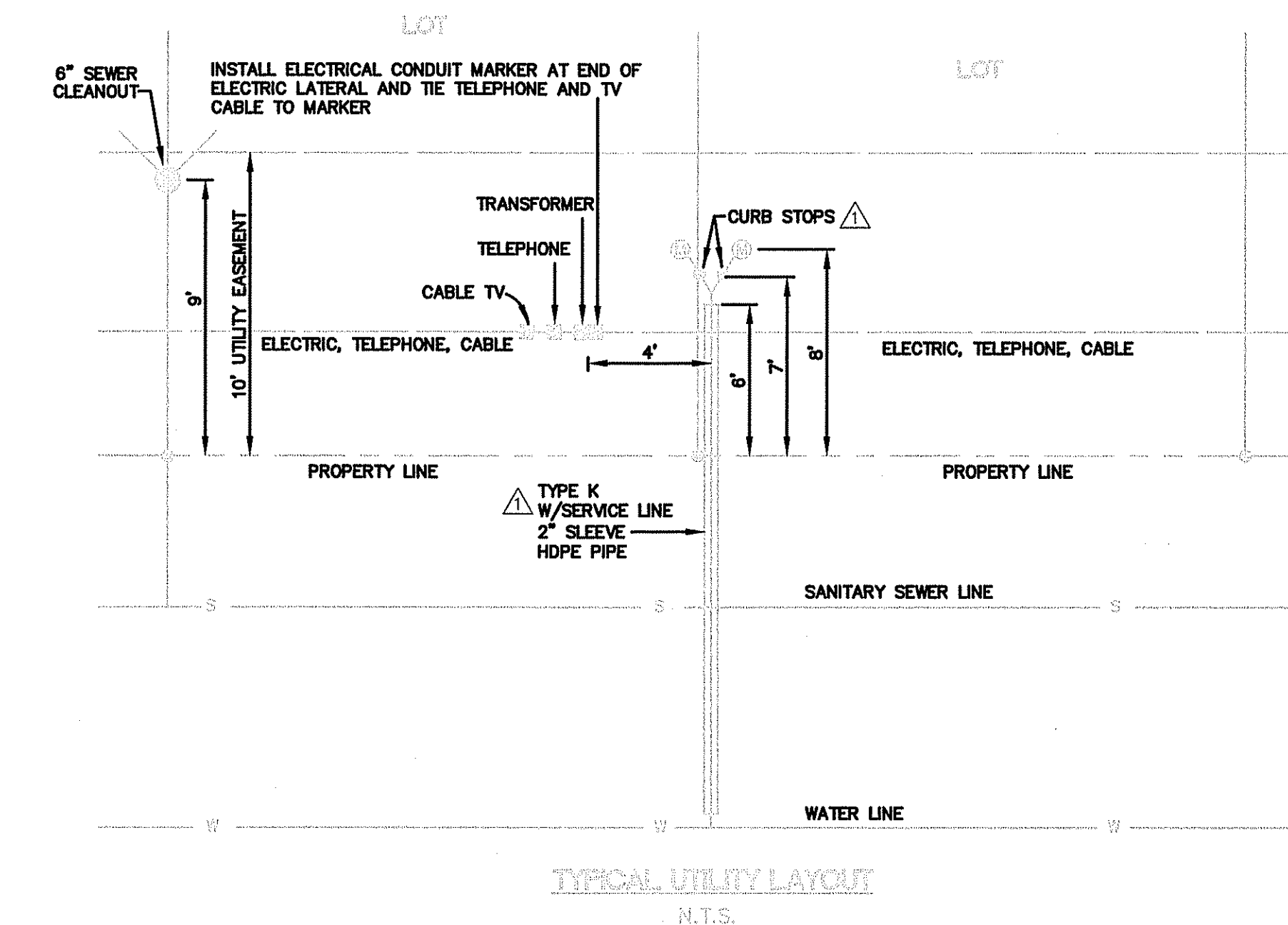
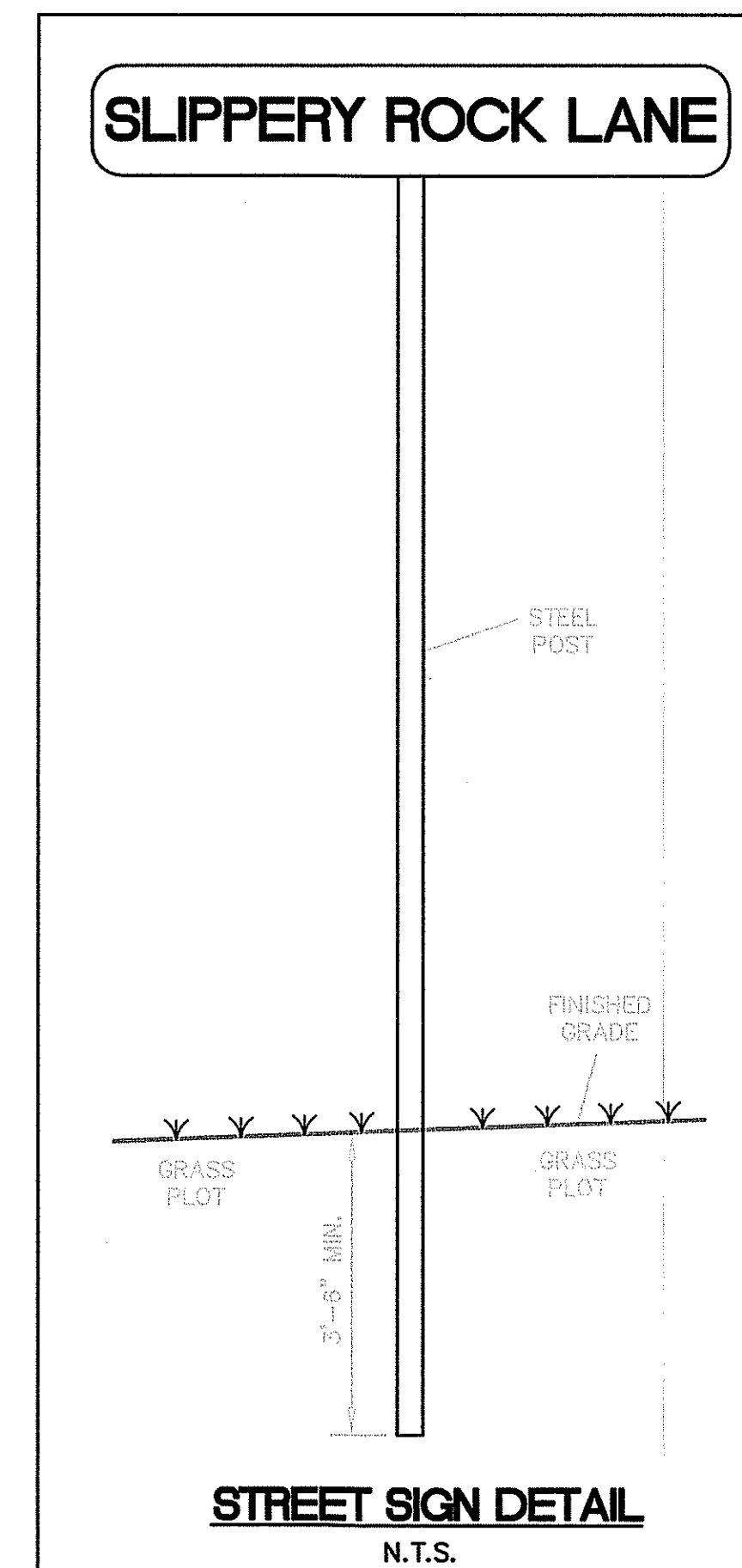
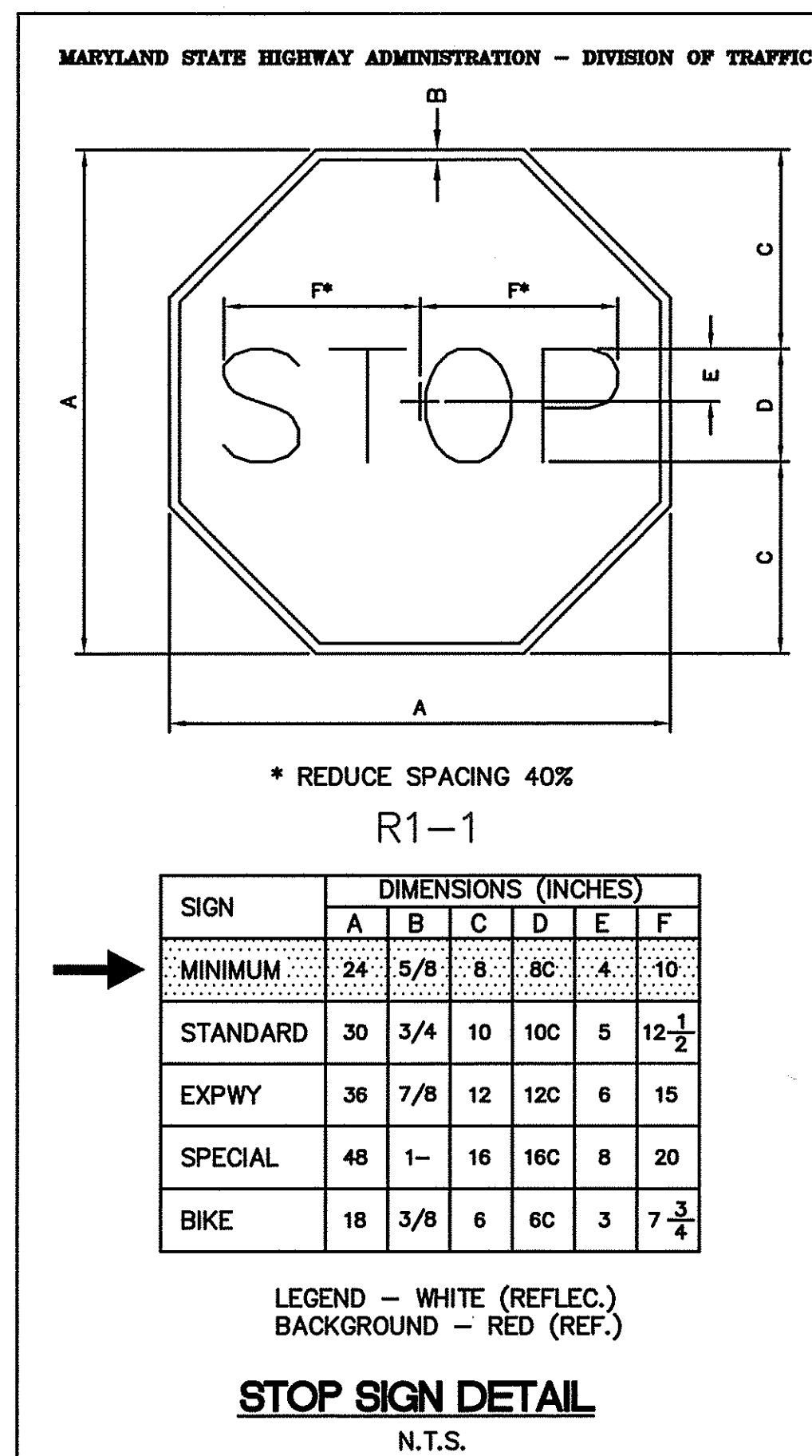
MODIFIED PAVEMENT SECTION - CLASS 3 STREET

NO SCALE

- STONE BASE**
- 1" BITUMINOUS CONCRETE SURFACE COURSE
 - 2" BITUMINOUS CONCRETE BINDER COURSE
 - 6" CRUSHER RUN BASE (2-3" COURSES)
 - PREPARED SUBGRADE
 - TACK COAT
 - SHOULDERS: 2" BITUMINOUS CONCRETE BINDER COURSE

TRINITY HOMES, LLC ROAD CHART					
STREET NAME	STREET TYPE	R.O.W. WIDTH	PAVEMENT WIDTH	SHOULDER WIDTH	
SLIPPERY ROCK DRIVE (STA. 0+00 TO STA. 3+50)	CLASS 1	50'	22'	6'	
SLIPPERY ROCK DRIVE (STA. 3+50 TO STA. 5+72)	CLASS 2	50'	20'	5'	
SLIPPERY ROCK DRIVE (STA. 5+72 TO STA. END)	CLASS 3	50'	18'	4'	
CRADLE ROCK DRIVE (STA. 0+00 TO STA. 11+62)	CLASS 2	50'	20'	5'	
CRADLE ROCK DRIVE (STA. 11+62 TO STA. END)	CLASS 3	50'	18'	4'	
CABERNET DRIVE (LEFT) (STA. 0+00 TO STA. END)	CLASS 3	50'	18'	4'	
CABERNET DRIVE (RIGHT) (STA. 0+00 TO STA. END)	CLASS 3	50'	18'	4'	
PINOT NOIR LANE (STA. 0+00 TO STA. END)	CLASS 2	50'	20'	5'	
SOLSTICE DRIVE (STA. 0+00 TO STA. END)	CLASS 3	50'	18'	4'	

NOTE: CUL DE SACS SHALL HAVE A 4' WIDE SHOULDER OF 2" BITUMINOUS CONCRETE BINDER COURSE



ROADSIDE DITCH TREATMENT SCHEDULE

Road Name/Station	Q ₂₅	V ₂₅	Roadside Ditch Treatment
STA 0+00 to 8+00 R/L	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 8+01 to 13+10 R/L	Q ₂₅ = <10.5 cfs	V ₂₅ = <3.57 fps	Seed/Mulch
STA 0+00 to 12+84.44 L	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 0+00 to 10+50 R	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 10+51 to 12+84.44 R	Q ₂₅ = <10.5 cfs	V ₂₅ = <3.57 fps	Seed/Mulch
STA 0+00 to 2+50 R/L cul-de-sac	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 0+00 to 9+49.53 L	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 0+00 to 4+50 R	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 4+51 to 9+49.53 R	Q ₂₅ = <10.5 cfs	V ₂₅ = <3.57 fps	Seed/Mulch
STA 0+00 to 8+50 R/L	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 8+51 to 13+00 L	Q ₂₅ = <10.5 cfs	V ₂₅ = <3.57 fps	Seed/Mulch
STA 8+51 to 18+95.76 R	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 13+01 to 18+95.76 L	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch
STA 0+00 to 5+18.98 R/L	Q ₂₅ = <5.0 cfs	V ₂₅ = <2.97 fps	Seed/Mulch

NOTE: The "R/L" designations refer to the right or left side roadside ditch.

NOTE: The Q₂₅ / V₂₅ values shown hereon were obtained from the driveway culvert sizing computations. Various road segments were analyzed to determine the required culvert sizes. Therefore, the Q₂₅ and V₂₅ values shown hereon are "Not-to-Exceed" values. For example, the terminus of the roadside ditch segment is not expected to receive a runoff quantity exceeding the stated Q₂₅. Also, the V₂₅ is a maximum anticipated velocity within the given roadside ditch segment.

DRAWINGS\ROADDTL.dwg

No.	REVISION	BY	DATE	APP'D	SCALE
9	REVISED PER B.C.E. COMMENTS	W.J.K.	10/13/08		NONE
8	REVISED PER B.C.P.C. COMMENTS	W.J.K.	06/17/08		
7	REVISED PER B.C.P.S.S.D. COMMENTS	C.A.S.	03/25/08		
6	REVISED PER B.C.P.S.W.D. COMMENTS	C.A.S.	05/11/07		
5					

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ROADWAY/SITE DETAILS
FOR
SUNDANCE VALLEY

B.C.P.C. FILE NO. 030-06

SHEET NO.	33 OF 34
PROJECT NO.	051024
FILE NO.	B-1724

TAX MAP H-37 P/O PARCEL 25 HEDGESVILLE DISTRICT BERKELEY COUNTY, WEST VIRGINIA

