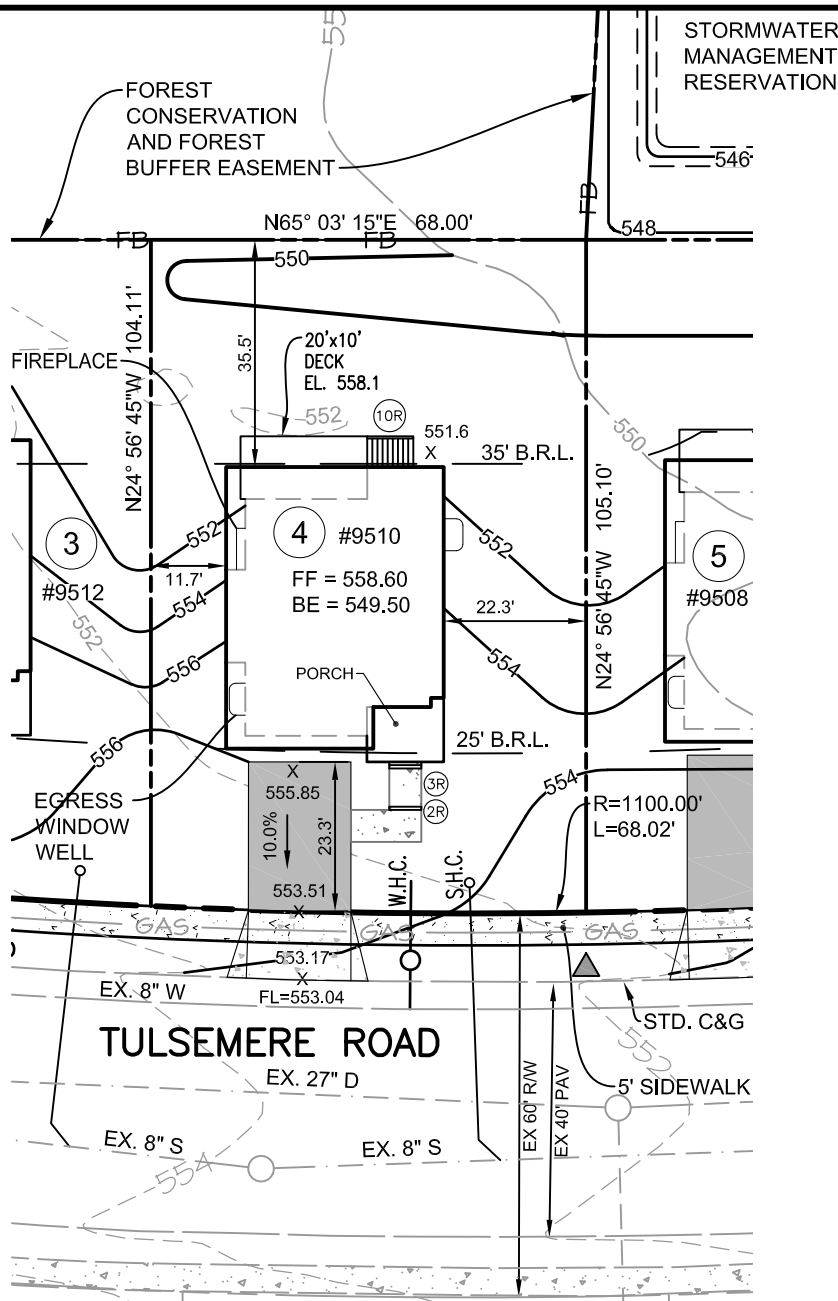




NORTH
MCS



ZONING CASE NO. 2012-0331-A:

- VARIANCE TO ALLOW A DECK TO PROJECT INTO THE REAR YARD RESULTING IN AN 8' REAR YARD SETBACK IN LIEU OF THE REQUIRED 22.5'

REFERENCE DRAWINGS:

WATER/SEWER: 2020-0660
 STORM DRAIN: 2020-0661
 ROAD: 2020-0662

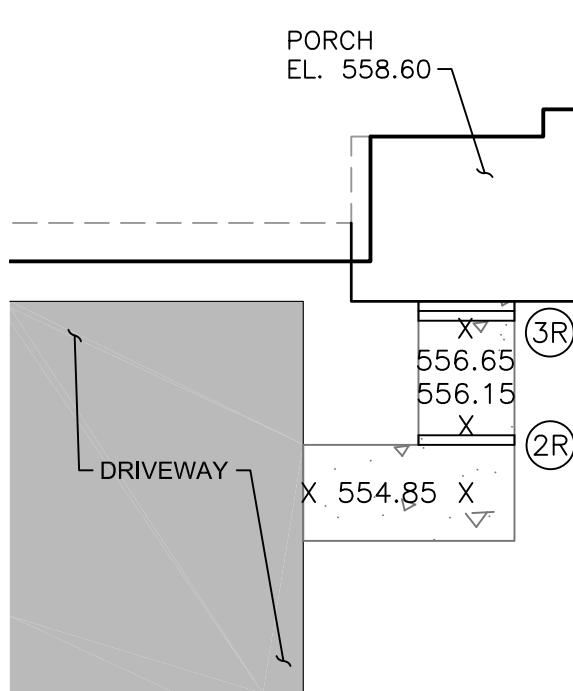
NOTE:

HOUSE DIMENSIONS BASED ON PLANS PROVIDED BY: LEVIN/BROWN & ASSOCIATES, INC. DATED DECEMBER 2020. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

ADJUSTMENTS MAY BE REQUIRED IN THE FIELD TO MEET EXISTING NATURAL OR FINISHED GRADES ON ADJACENT LOTS. THESE ADJUSTMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GROUND ELEVATIONS SHOWN HAVE BEEN ROUNDED TO NEAREST TENTH. CONTRACTOR TO MAINTAIN 8" MIN. CLEARANCE FOR FRAMING TO GROUND AND/OR 6" MIN. CLEARANCE FOR MASONRY TO GROUND.

CONTRACTOR TO VERIFY ELEVATION OF SANITARY SEWER AND ADJUST HOUSE ELEVATION IF NECESSARY.



FRONT WALK DETAIL
SCALE: 1"=10'

BUILDER: TULSEMERE DEVELOPMENT, LLC P.O. 21542 BALTIMORE, MD 21282	PLOT PLAN - LOT 4 #9510 TULSEMERE ROAD PLAT JLE 79-409 SCHNAPER PROPERTY - PHASE THREE ELECTION DISTRICT No. 2 COUNCILMANIC DISTRICT 4 BALTIMORE COUNTY, MARYLAND		SCALE: 1"=30'
	LOT AREA: 0.164 Ac. ±		
TAX ACCOUNT NO: 2500011319			REVISED:
DRAWN BY KNK	CHECKED BY JAM	7115 AMBASSADOR ROAD P.O. BOX 47428 BALTIMORE, MARYLAND 21244-7428 410-944-3647 www.dsthaler.com	JOB NO.: 04502

