

Table with 2 columns: DATE OF REVISIONS, empty rows for revision details.

GENERAL NOTES:

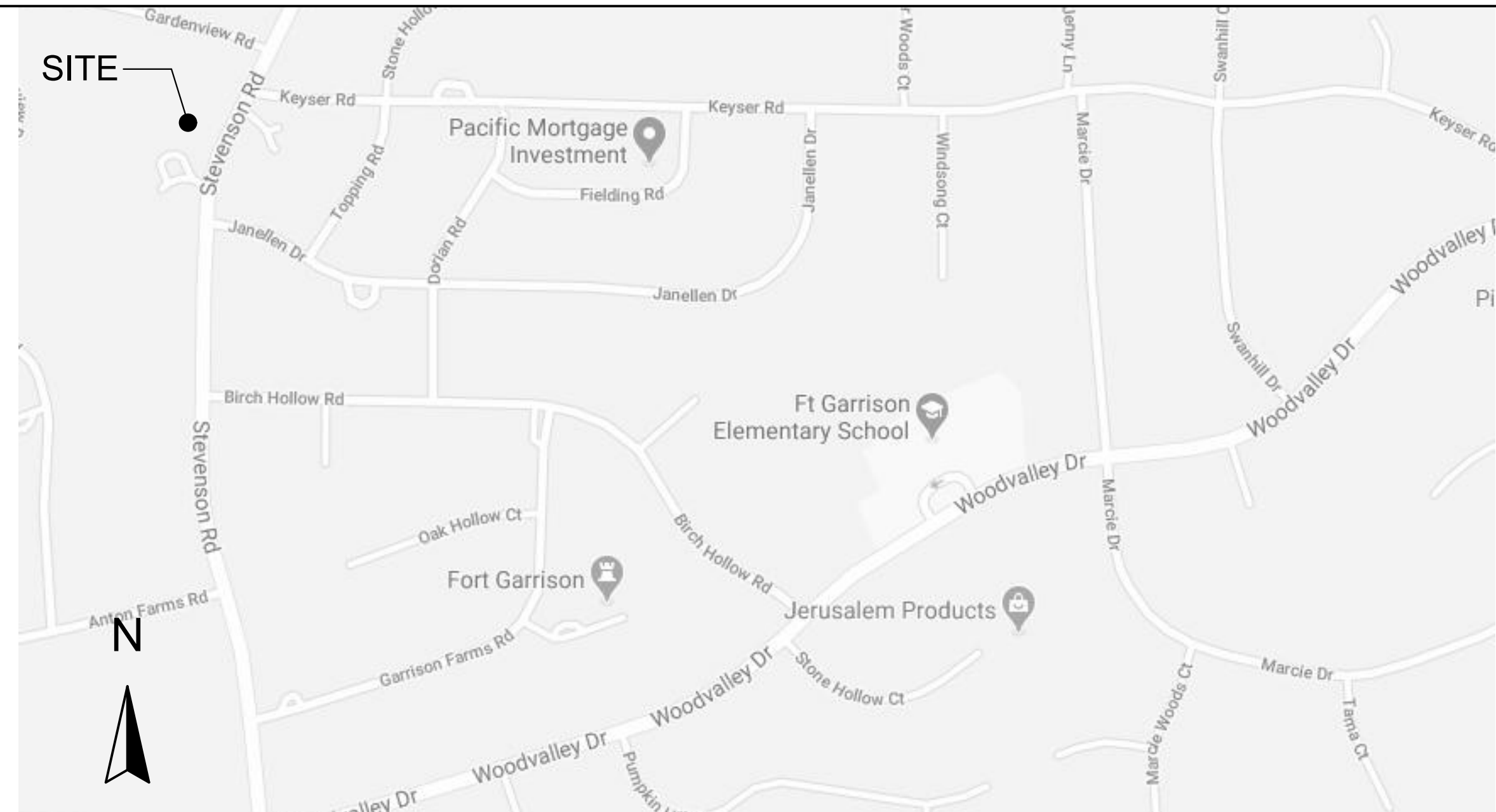
- 1. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS AND AWAIT DIRECTIONS FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DRAWINGS ARE GROUPED AND IDENTIFIED AS ARCHITECTURAL, STRUCTURAL, ETC. THIS IS DONE AS A CONVENIENCE TO THE CONTRACTOR. IT SHOULD NOT BE ASSUMED THAT ALL WORK NORMALLY PERFORMED BY ONE SUB-CONTRACTOR OR TRADE WILL BE FOUND ON ANY ONE DRAWING OR GROUP OF DRAWINGS. ALL WORK CALLED FOR UNDER THIS CONTRACT SHALL BE COMPLETED AS REQUIRED REGARDLESS OF THE IDENTIFICATIONS OF THE DRAWING ON WHICH IT MAY BE SHOWN.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS, OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.
4. CODES: ALL WORK ON THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
a. CURRENT IRC BUILDING AND MECHANICAL CODES
b. NATIONAL ELECTRICAL CODE AS APPLICABLE
c. CURRENT NFPA LIFE SAFETY CODES
d. APPLICABLE STATE PLUMBING CODES
e. CURRENT STATE FIRE CODES
5. PERMITS: OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS. THE PERMIT FEES AND THE COSTS OF PROCURING SAME SHALL BE BORNE ENTIRELY BY OWNER. THE PROJECTS GENERAL CONTRACTOR (G.C.) WILL COORDINATE AND SCHEDULE ALL REQUIRED INSPECTIONS.
6. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL WORK AS INDICATED IN THE CONTRACT DOCUMENTS.
7. ALL JOINTS NOT OTHERWISE FILLED OR COVERED SHALL BE CAULKED WITH A PERMANENT SEALANT (UP TO 1/2" WIDE UNLESS OTHERWISE DETAILED) AS SPECIFIED TO MATCH.
8. WHEREVER ELECTRICAL DEVICES, PANELS, ETC. AND MECHANICAL EQUIPMENT, DUCTS, LOUVERS, PIPES, ETC. ARE REMOVED AND/OR INSTALLED IN OR ON SURFACES (WALLS, FLOORS, OR CEILINGS) THE EXISTING SURFACE MUST BE REPAIRED AND PATCHED WITH MATERIALS OF LIKE COLOR, TEXTURE, AND FINISH OF ADJACENT SURFACES AS JUDGED BY THE ARCHITECT, UNLESS OTHERWISE DIRECTED WITHIN THE DOCUMENTS. ALL ITEMS ON EXTERIOR SHALL BE SEALED TO MAKE WEATHER-TIGHT.
9. ALL PARTITIONS CONTAINING PLUMBING OR ELECTRICAL SHALL BE OF THE THICKNESS REQUIRED TO CONCEAL SAME.
10. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.
11. WORKMANSHIP STANDARDS: ALL WORK SHALL BE PERFORMED IN A SAFE AND EXPEDITIOUS MANNER USING THE RECOMMENDED TOOLS IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE APPROPRIATE TRADE.

08/07/2020-PERMIT SET

HARBORVIEW-LOT 3B
8432 Stevenson Road, Pikesville, Maryland 21208
COVER SHEET

CUSTOM RESIDENCE
HARBORVIEW-LOT 3B
8432 Stevenson Road, Pikesville, Maryland 21208

SITE LOCATION MAP (NTS):



OWNER:

Harborview Builders
PO Box 21542
Baltimore, Maryland 21282

Jay Attar, Harborview Builders
Phone: 443-992-1931
Email: jay@hvbuilders.com

ARCHITECT:

Levin/Brown & Associates, Inc.
15 Greenspring Valley Road
Owings Mills, Maryland 21117

Jay I Brown, AIA
Phone: (410) 581-0104
Fax: (410) 581-0108

STRUCTURAL ENGINEER:

John Schneider
100 North Rolling Road
Catonsville, Maryland 21228

John Schneider
Phone: (410)744-1945

PERMIT APPROVALS:

PROFESSIONAL CERTIFICATION:

DATE 08/07/2020
PROJECT NUMBER 6119

DRAWING INDEX:

- ARCHITECTURAL:
CS-1 COVER SHEET
FLOOR PLANS:
A-100 FOUNDATION/BASEMENT PLAN
A-101 FIRST FLOOR PLAN
A-102 SECOND FLOOR PLAN
A-103 ROOF PLAN
WIND BRACING DIAGRAMS:
A-104 FIRST FLOOR WIND BRACING DIAGRAM
A-105 SECOND FLOOR WIND BRACING DIAGRAM
ELEVATIONS:
A-201 ELEVATIONS
BUILDING SECTIONS:
A-301 BUILDING SECTIONS & TYPICAL WALL SECTION
A-302 BUILDING SECTIONS
A-303 BUILDING SECTIONS
STRUCTURAL DRAWINGS:
DRAFTED BY LBA/W/CONSULTATION BY JOHN SCHNEIDER
S-100 FOUNDATION & FIRST FLOOR FRAMING PLAN
S-101 SECOND FLOOR FRAMING PLAN
S-102 ROOF FRAMING PLAN

Table with 3 columns: Drawing ID, Description, and Reference. Includes items like R301.1 Climate zone 4A, R402.4.2 Fireplaces, R403.1.1 Thermostat, etc.

BUILDING DATA:

JURISDICTION: BALTIMORE COUNTY MARYLAND
APPLICABLE CODES: 2015 IRC
TYPE OF WORK: NEW CONSTRUCTION OF 2 STORY WOOD/MASONRY HOME WITH BELOW GRADE BASEMENT. ONE KITCHEN AND ONE DWELLING ON LOT.
TAX ACCT #: 2500002284
TAX MAP: 0068 GRID: 0009 PARCEL: 0551 LOT: 3B PLAT NO./REF: 0078/0198
ELECTION DISTRICT: 3
COUNCIL DISTRICT: 2
ZONING: DR 1
LOT SIZE: 1.06 AC
PROPOSED SF: +/-4300
WATER: PUBLIC
SEWER: PUBLIC
WATERSHED: JONES FALLS
200 SCALE MAP: 068B1

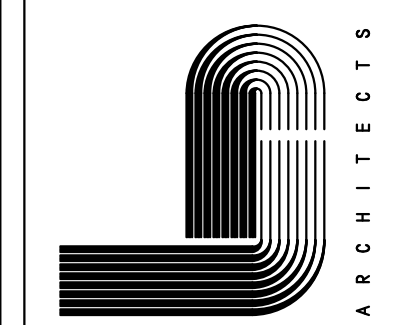
PROFESSIONAL CERTIFICATION:

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.

Name: Jay I. Brown Signature:

License Number: A-3822
Expiration Date: 2022-06-19

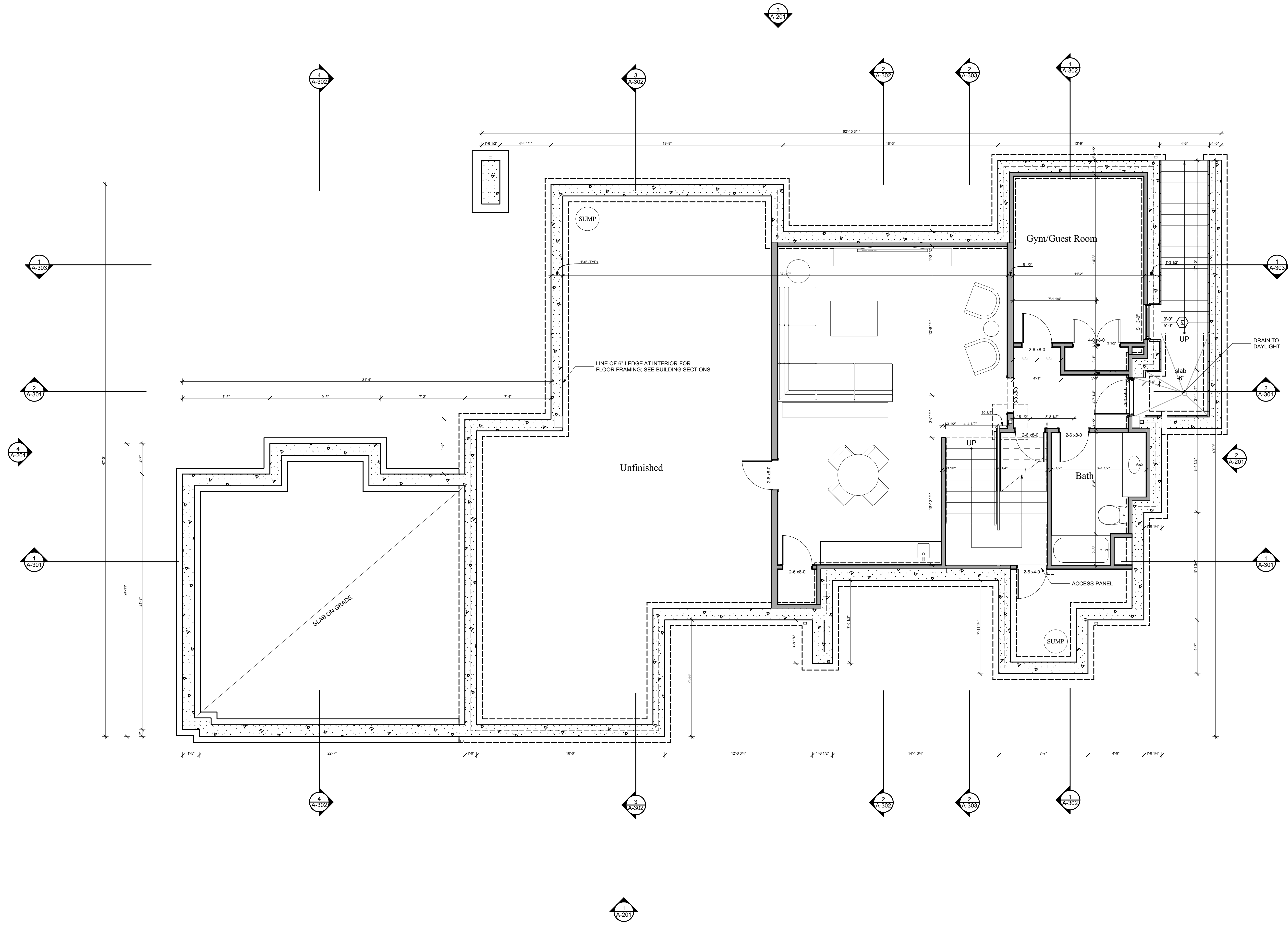
Levin/Brown & Associates, Inc.
15 Greenspring Valley Road
Owings Mills, Maryland 21117-1401
Tel: (410) 581-0104, Fax: (410) 581-0108
www.levinbrown.com



SHEET NUMBER

CS-1

**1 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



NO.	DATE	DESCRIPTION

**HARBORVIEW-LOT 3B**  
8432 Stevenson Road, Pikesville, Maryland 21208  
**FOUNDATION/BASEMENT PLAN**

PROFESSIONAL CERTIFICATION:

DATE: 08/07/2020  
PROJECT NUMBER: 6119

**Levin/Brown & Associates, Inc.**  
15 Greenspring Valley Road  
Covings Mills, Maryland 21114-1001  
Tel: 410-551-0108 Fax: 410-551-0108  
www.levinbrown.com



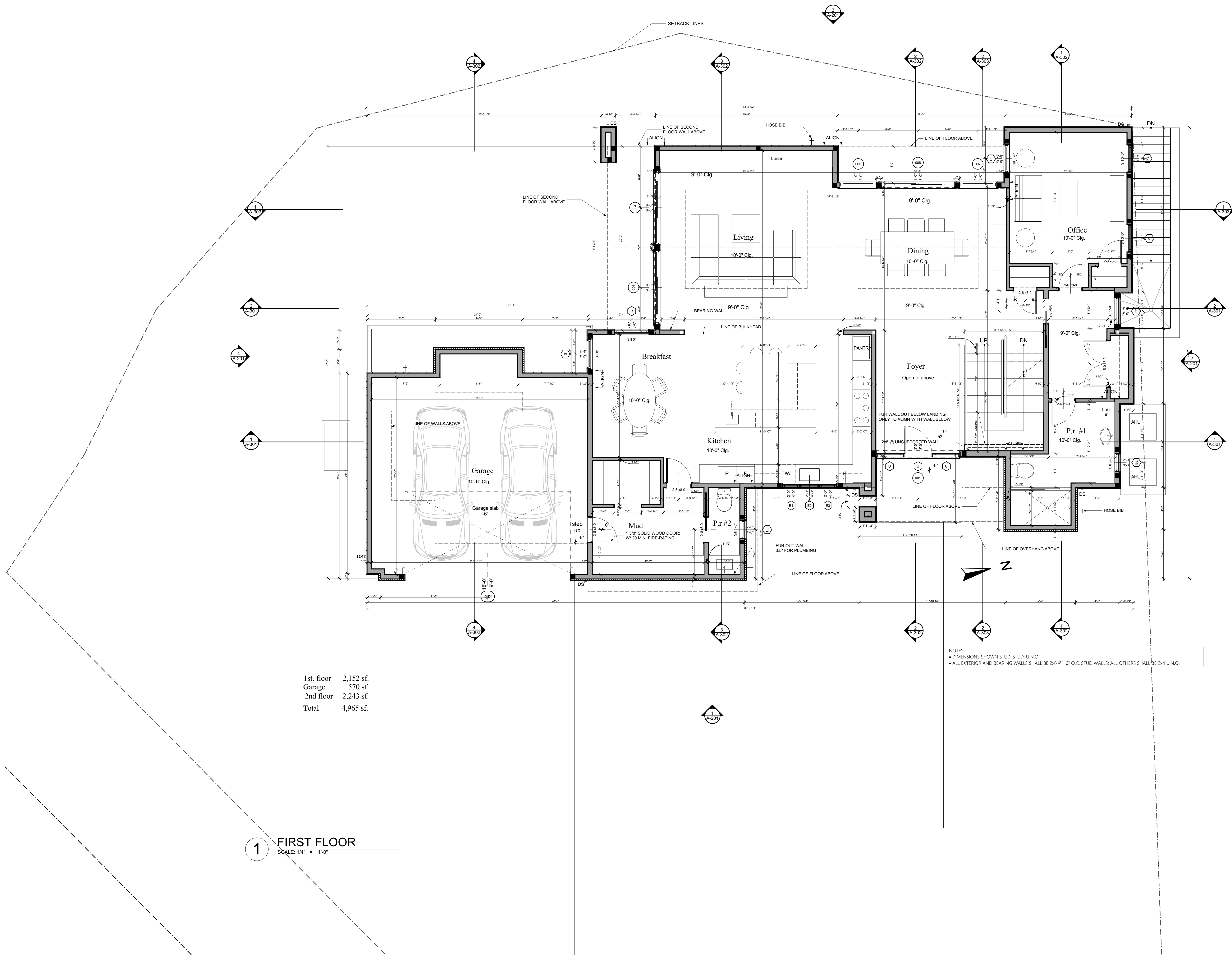
SHEET NUMBER  
**A-100**

©2020 L&B, Inc. C:\architect\design\15GREENSPRINGVALLEY\FOUNDATION\FOUNDATION.DWG, L&B, Inc. & Associates, Inc.

03/20/2020 12:20 PM C:\Users\leibrow\Documents\PROJECTS\18407\18407.dwg

1st. floor 2,152 sf.  
Garage 570 sf.  
2nd floor 2,243 sf.  
Total 4,965 sf.

1 FIRST FLOOR  
SCALE: 1/4" = 1'-0"



NOTES:  
◆ DIMENSIONS SHOWN STUD-TO-STUD, U.N.O.  
◆ ALL EXTERIOR AND BEARING WALLS SHALL BE 2x6 @ 16" O.C. STUD WALLS; ALL OTHERS SHALL BE 2x4 U.N.O.

NO.	DATE	DESCRIPTION

**HARBORVIEW-LOT 3B**  
8432 Stevenson Road, Pikesville, Maryland 21208  
**FIRST FLOOR**

PROFESSIONAL CERTIFICATION:

DATE 08/07/2020  
PROJECT NUMBER 6119

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15 Greenspring Valley Road  
Covings Mills, Maryland 21114-1001  
Tel: 410-301-3000 Fax: 410-301-0108  
www.levinbrown.com



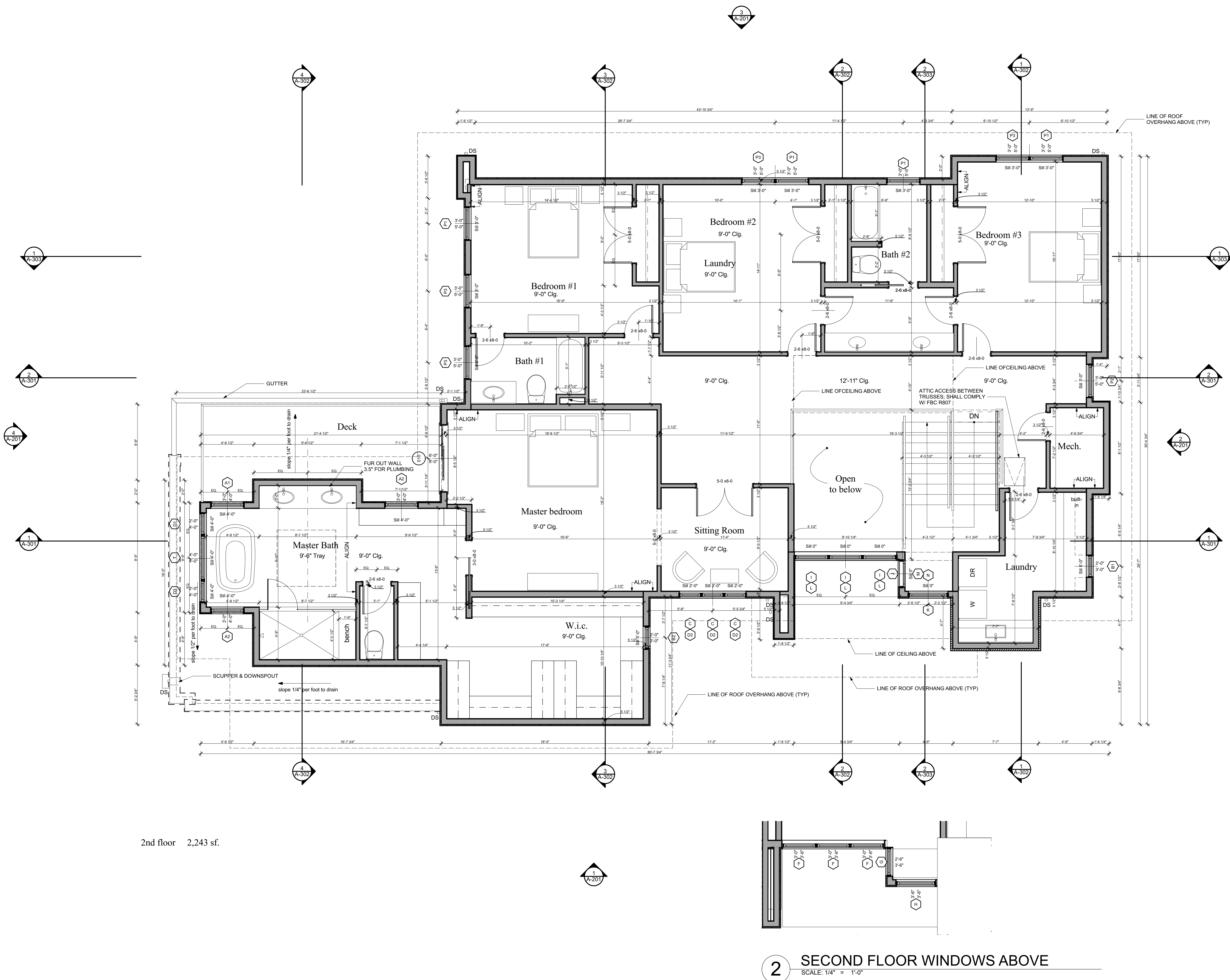
SHEET NUMBER

**A-101**

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**1 SECOND FLOOR**  
SCALE: 1/4" = 1'-0"

2nd floor 2,243 sf.



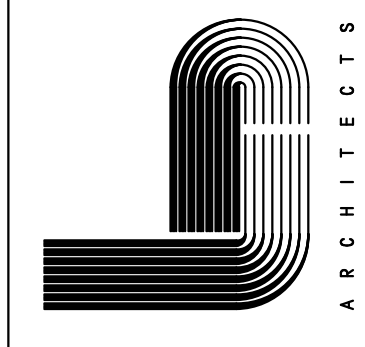
**2 SECOND FLOOR WINDOWS ABOVE**  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE

**HARBORVIEW-LOT 3B**  
8432 Stevenson Road, Pikesville, Maryland 21208  
**SECOND FLOOR**

PROFESSIONAL CERTIFICATION:  
  
DATE: 08/07/2020  
PROJECT NUMBER: 6119

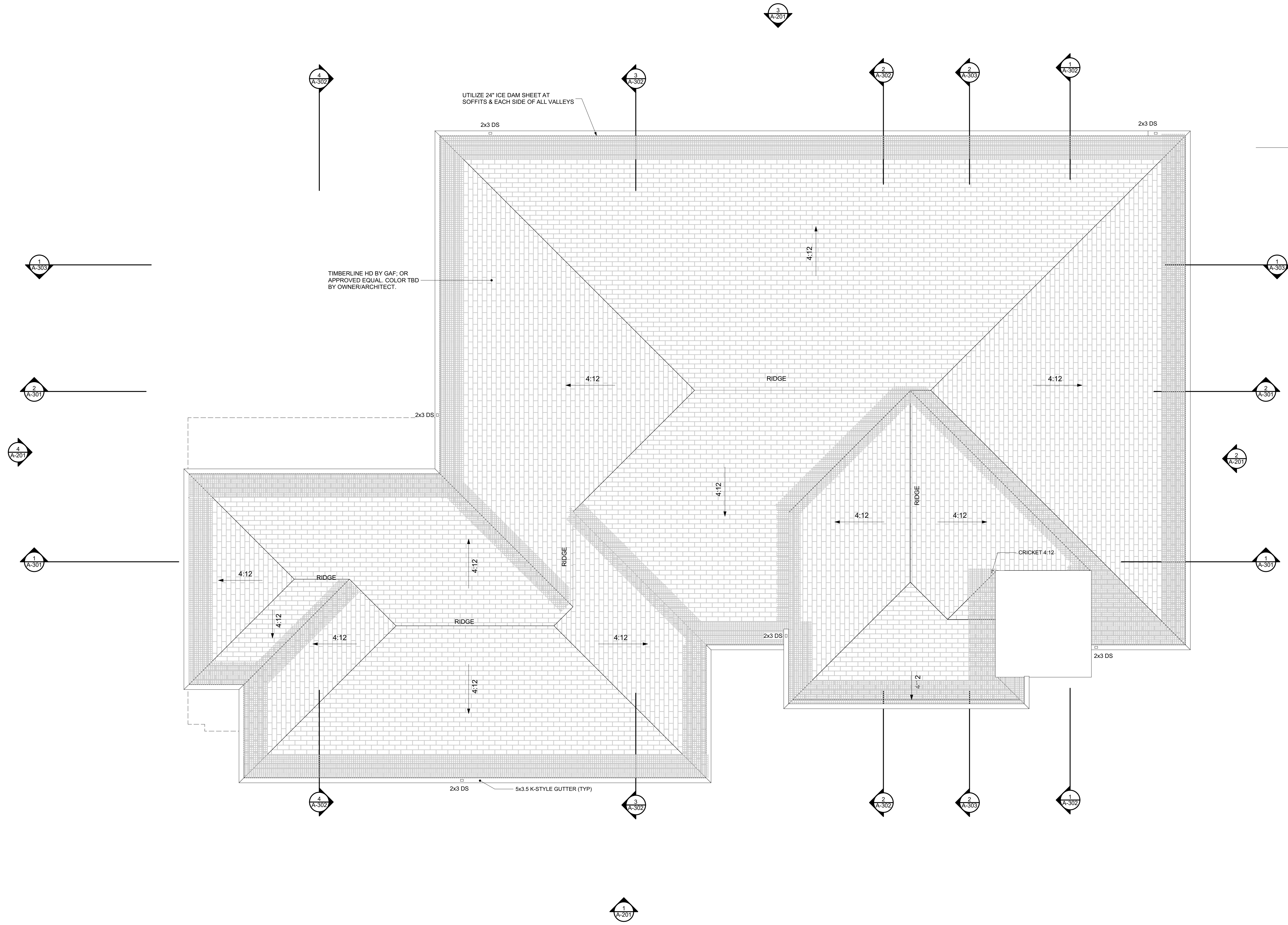
**Levin/Brown & Associates, Inc.**  
15 Greenspring Valley Road  
Owings Mills, Maryland 21117-4101  
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SHEET NUMBER  
**A-102**

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**1** ROOF PLAN  
SCALE: 1/4" = 1'-0"



NO.	DESCRIPTION	DATE

**HARBORVIEW-LOT 3B**  
**8432 Stevenson Road, Pikesville, Maryland 21208**  
**ROOF PLAN**

PROFESSIONAL CERTIFICATION:

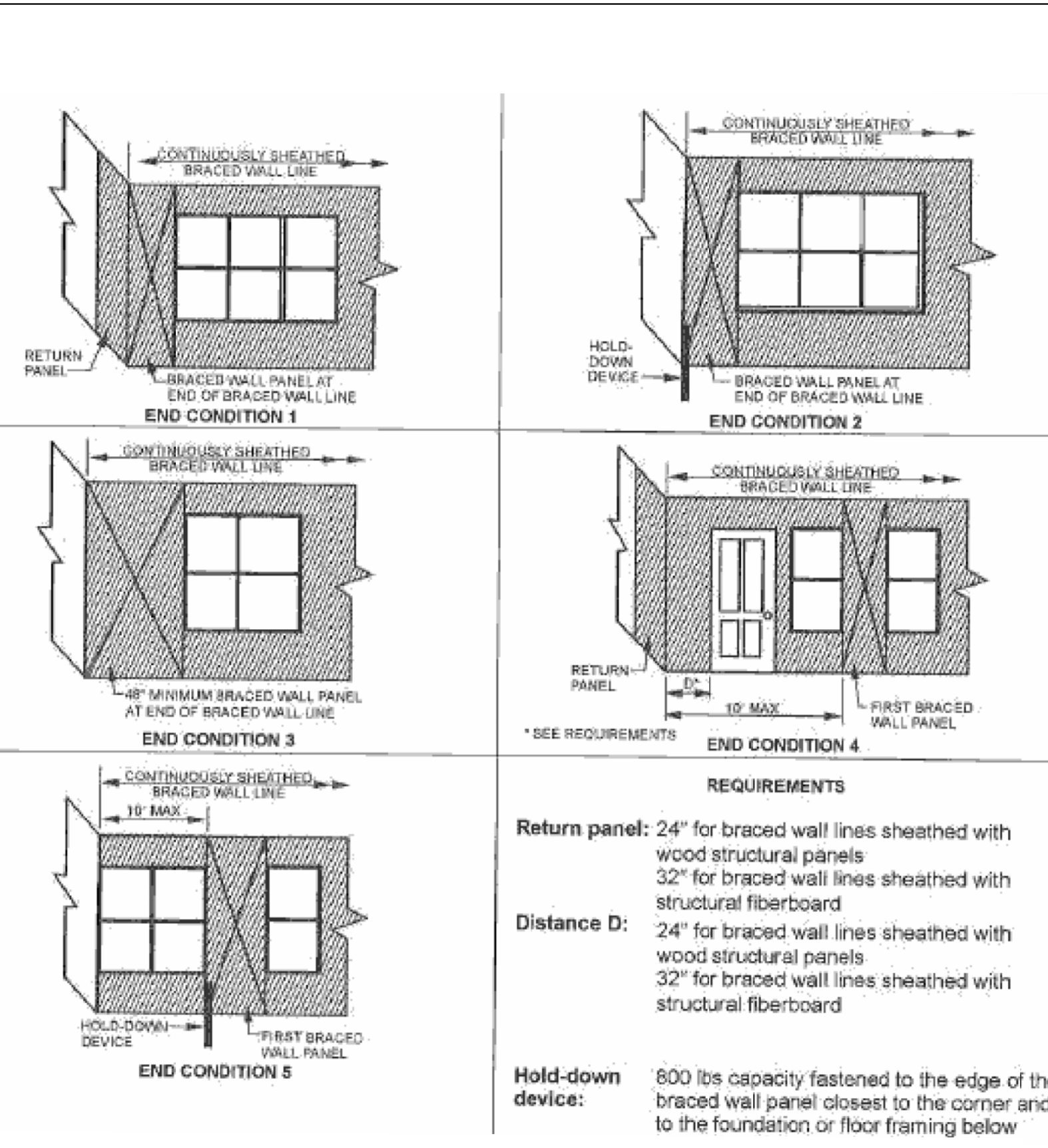
DATE: 08/07/2020  
 PROJECT NUMBER: 6119

**Levin/Brown & Associates, Inc.**  
 15 Greenspring Valley Road  
 Owings Mills, Maryland 21117-4101  
 Telephone: (410) 581-0100  
 Fax: (410) 581-0108  
 www.levinbrown.com

**ARCHITECTS**

SHEET NUMBER  
**A-103**

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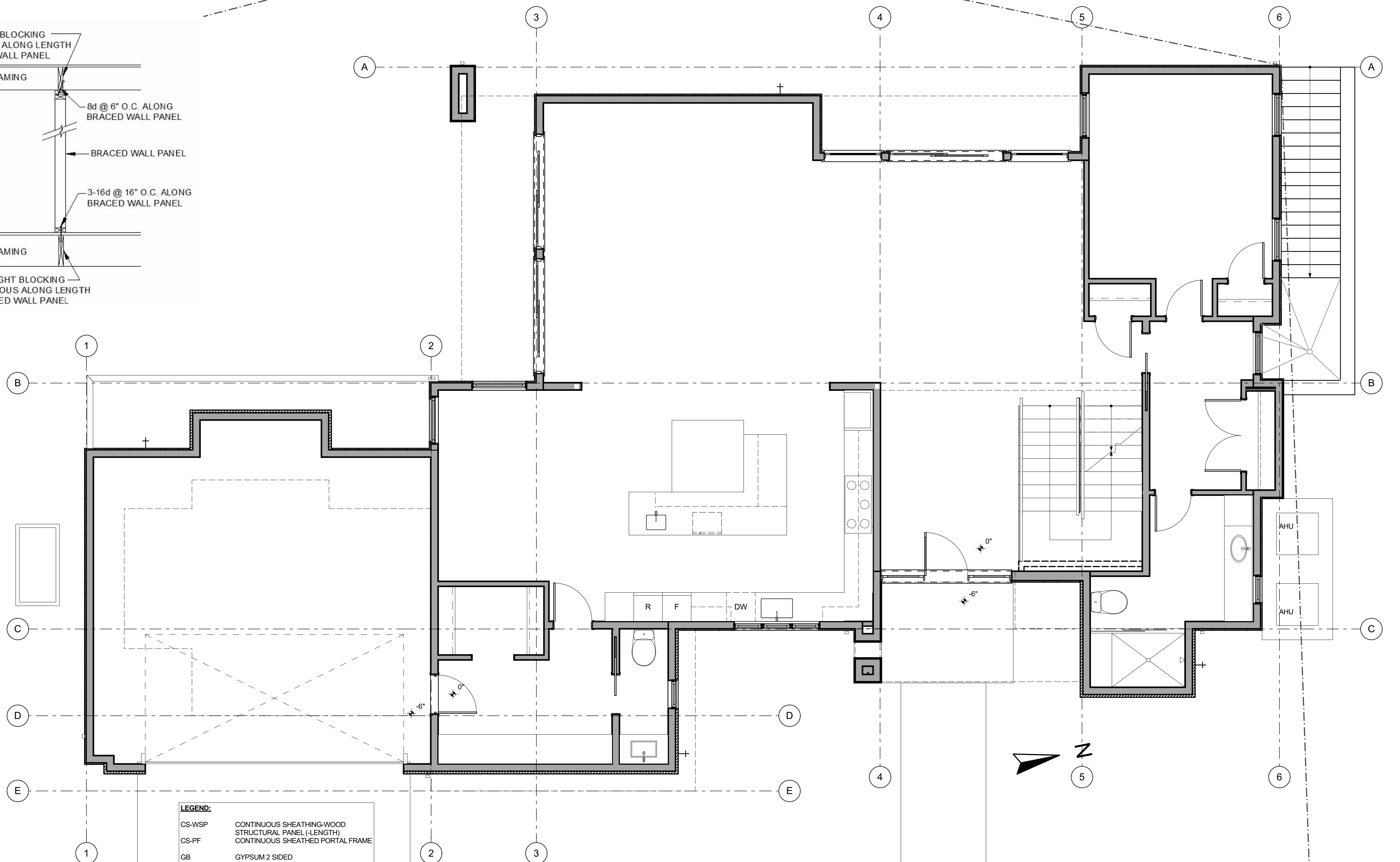
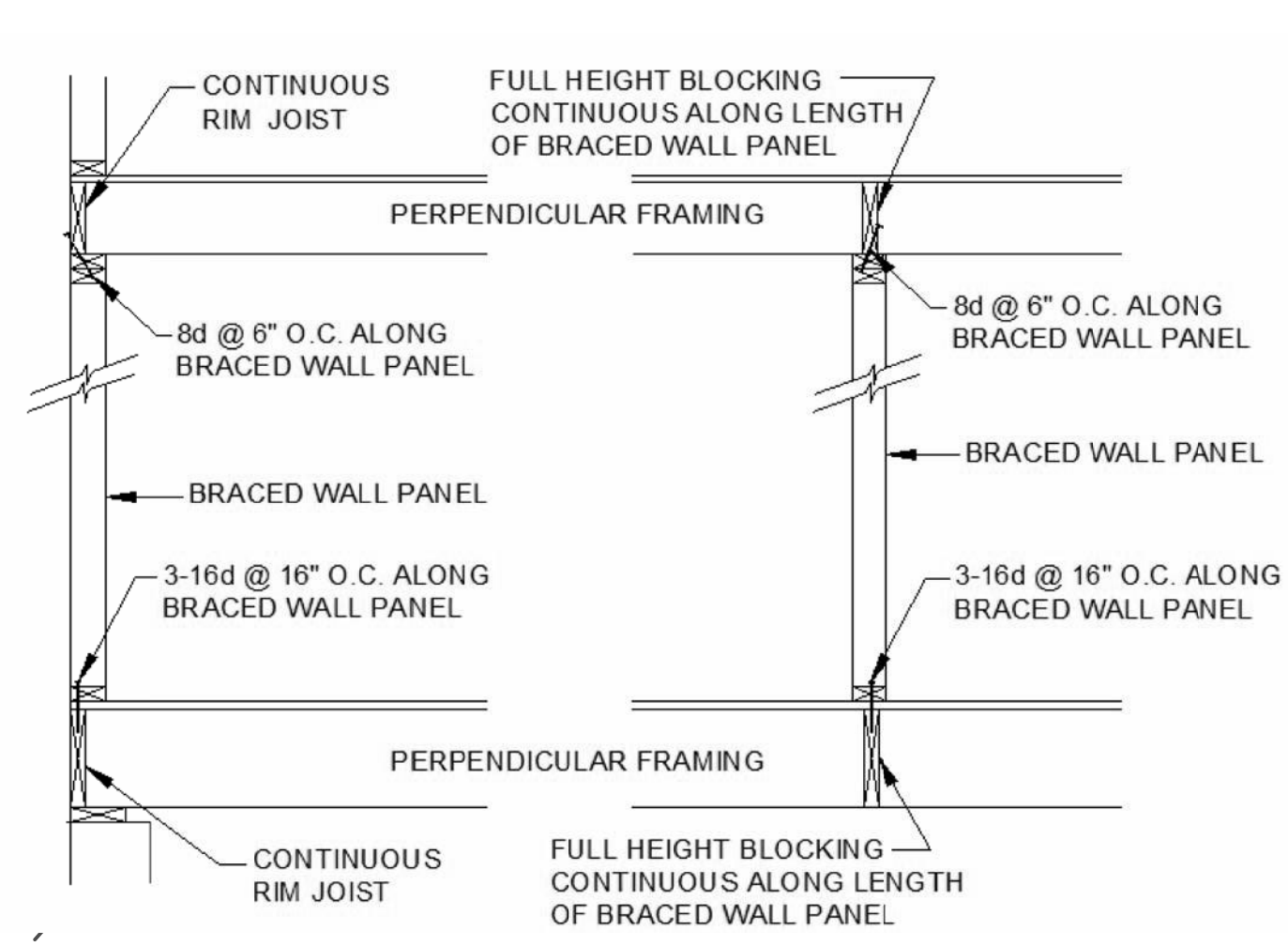
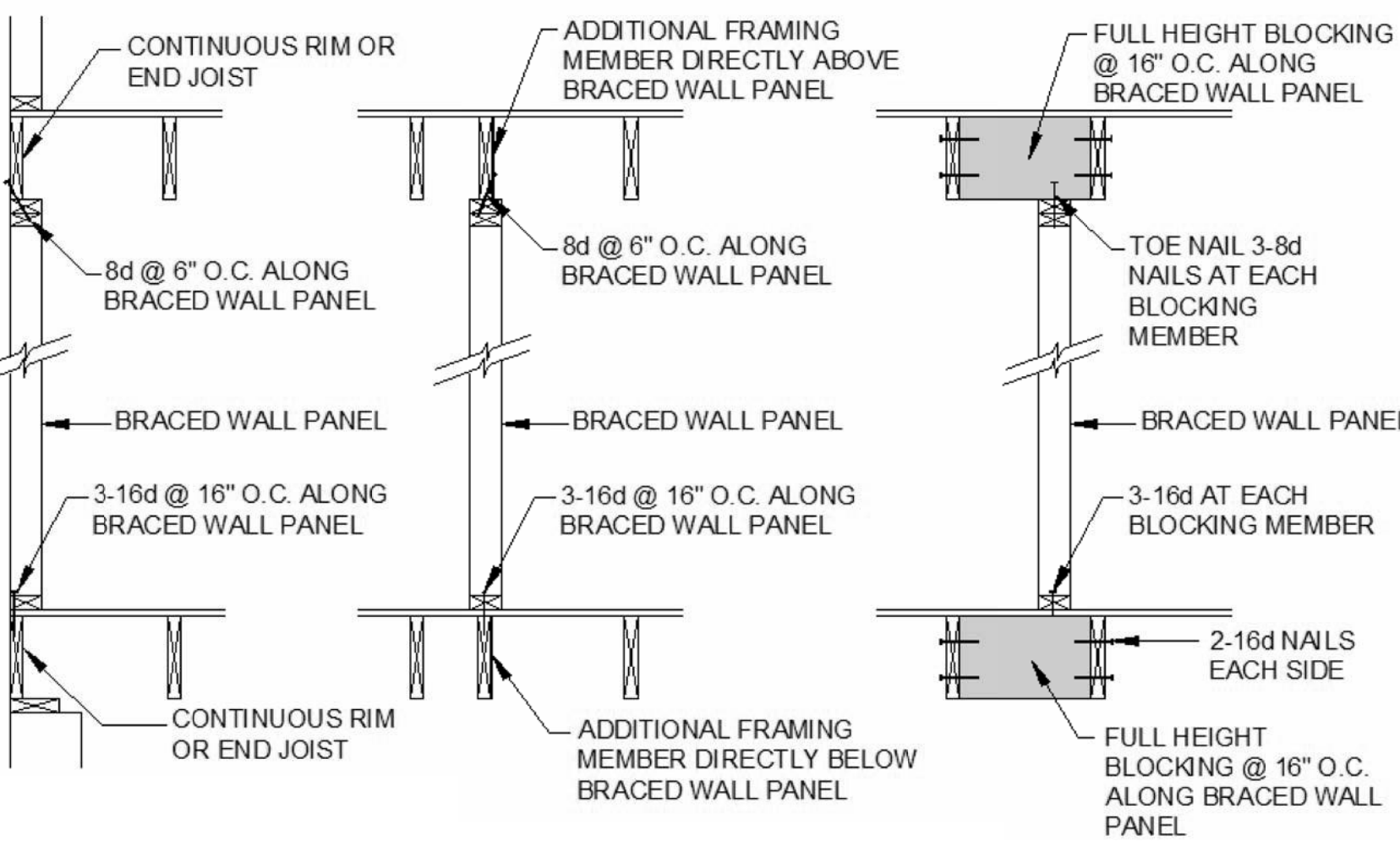
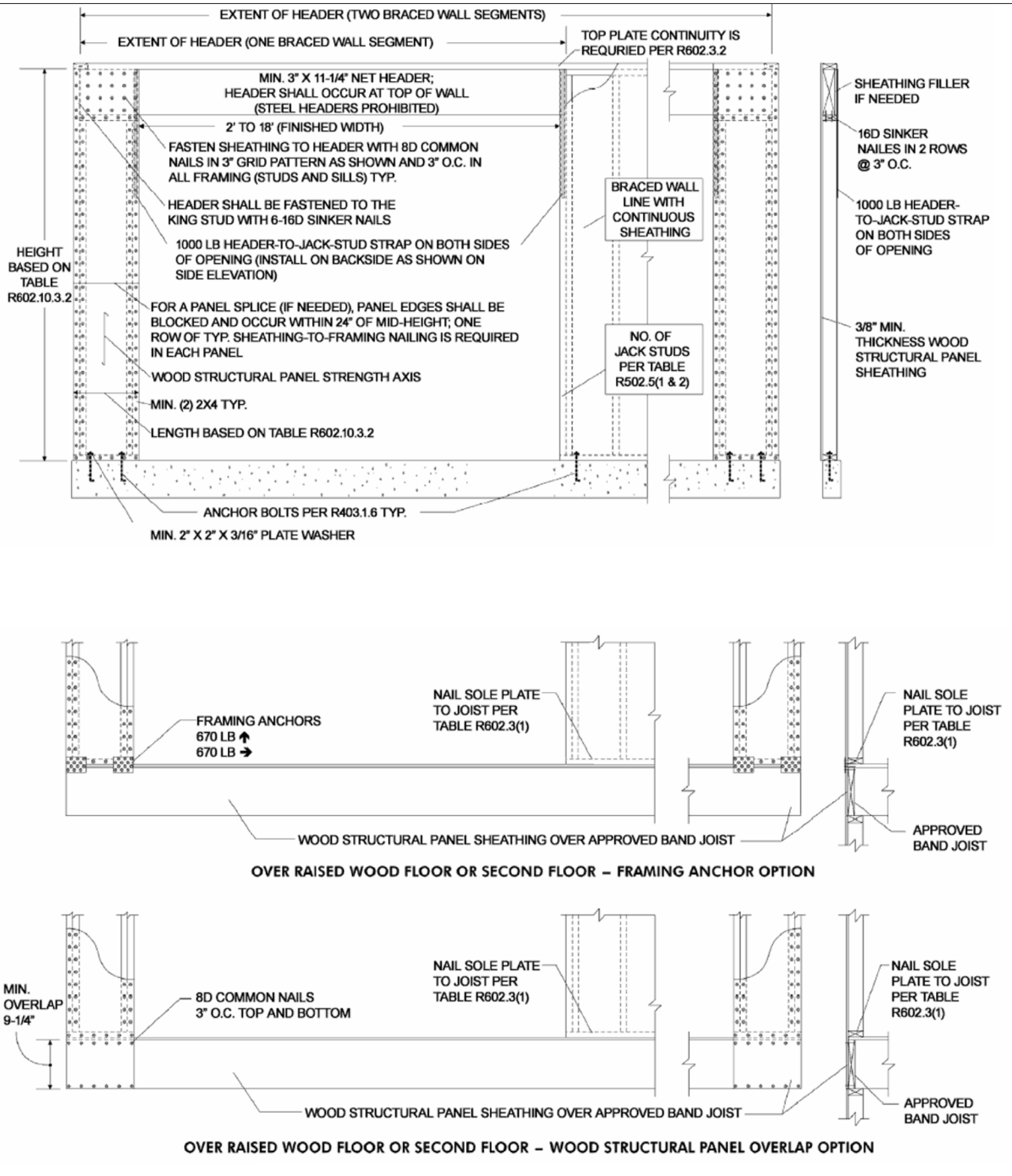


**REQUIREMENTS**

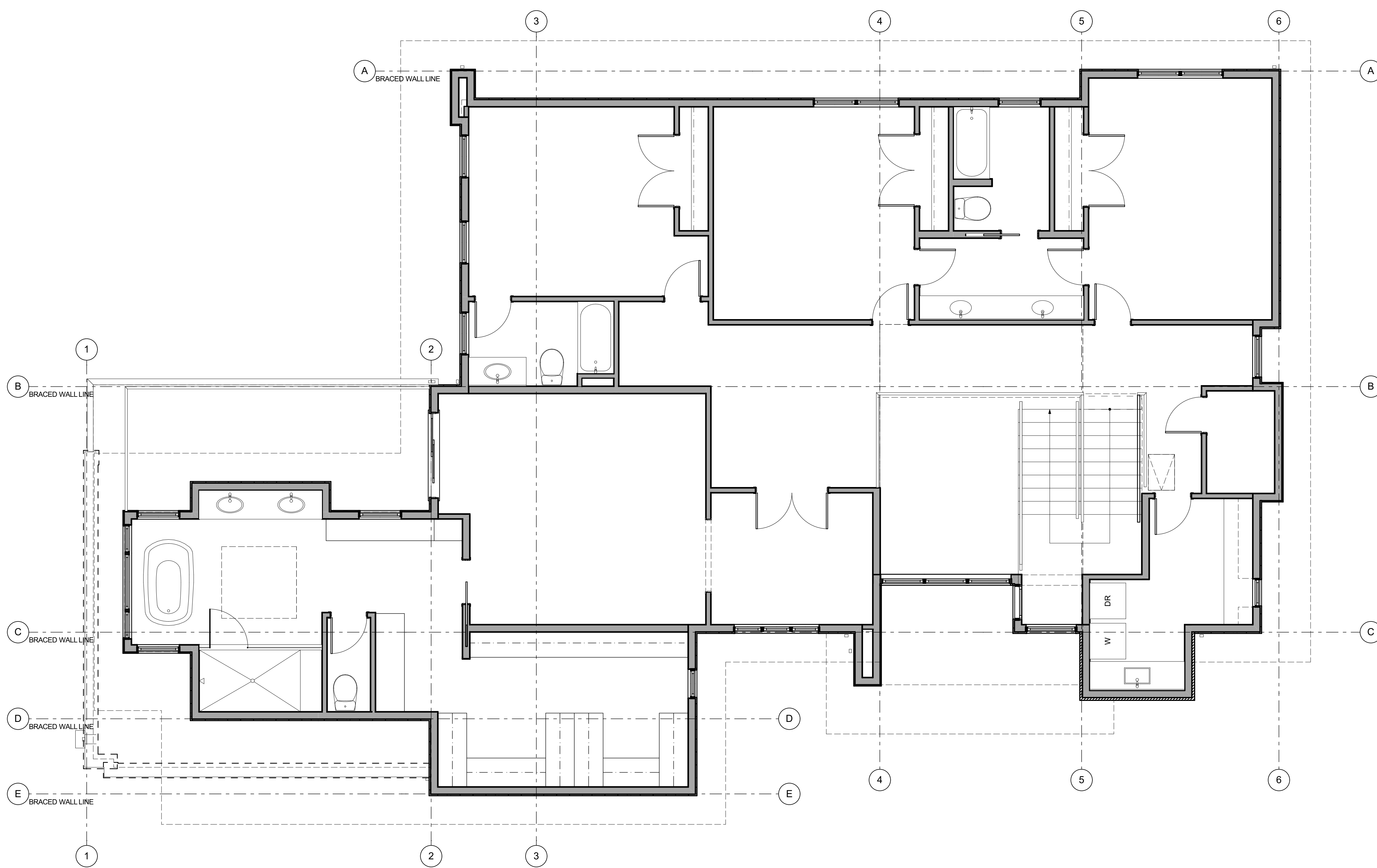
**Return panel:** 24" for braced wall lines sheathed with wood structural panels  
32" for braced wall lines sheathed with structural fiberboard

**Distance D:** 24" for braced wall lines sheathed with wood structural panels  
32" for braced wall lines sheathed with structural fiberboard

**Hold-down device:** 800 lbs capacity fastened to the edge of the braced wall panel closest to the corner and to the foundation or floor framing below



**1 FIRST FLOOR WIND BRACING DIAGRAM**  
SCALE: 1/4" = 1'-0"



LEGEND:	
CS-WSP	CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL (LENGTH)
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME
GB	GYP SUM 2 SIDED

**1 SECOND FLOOR WIND BRACING DIAGRAM**  
SCALE: 1/4" = 1'-0"

DATE OF REVISIONS

**HARBORVIEW-LOT 3B**  
8432 Stevenson Road, Pikesville, Maryland 21208  
**SECOND FLOOR WIND BRACING DIAGRAM**

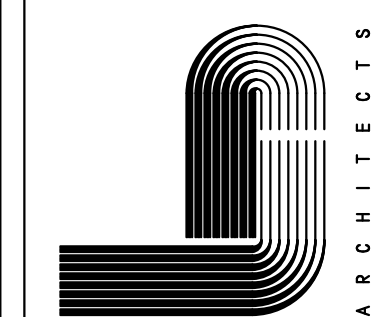
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CERTIFICATION:

DATE: 08/07/2020

PROJECT NUMBER: 6119

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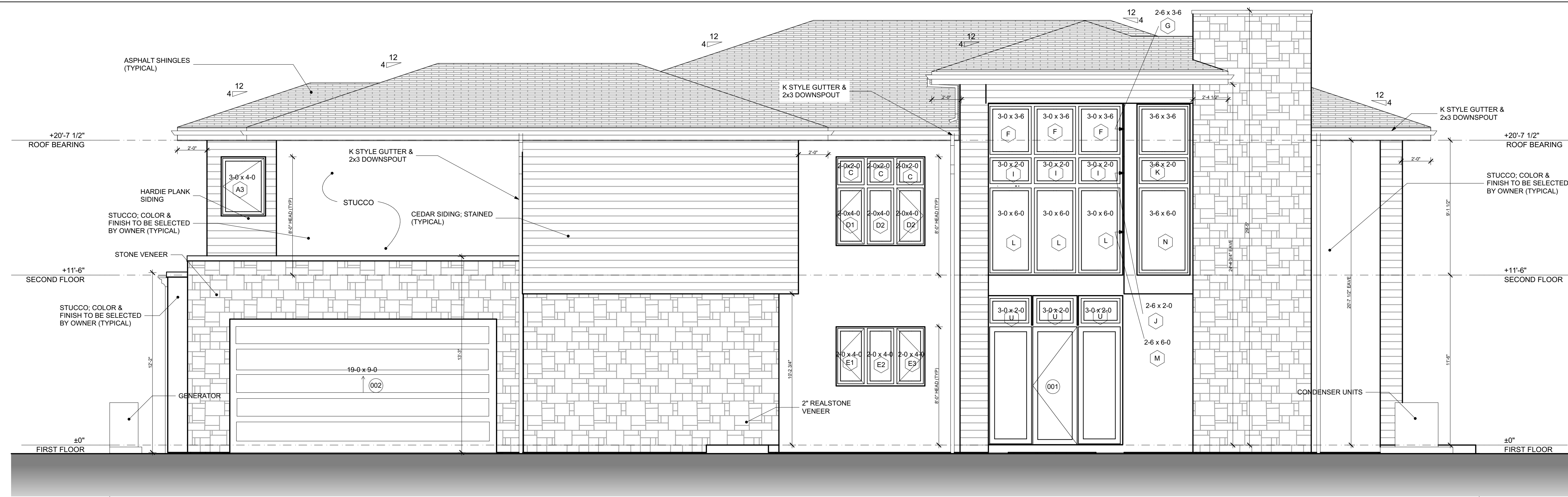
15 Greenspring Valley Road  
Crownsville, Maryland 21117-4101  
Tel: 410.260.9704 Fax: 410.581-0108  
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SHEET NUMBER

**A-105**

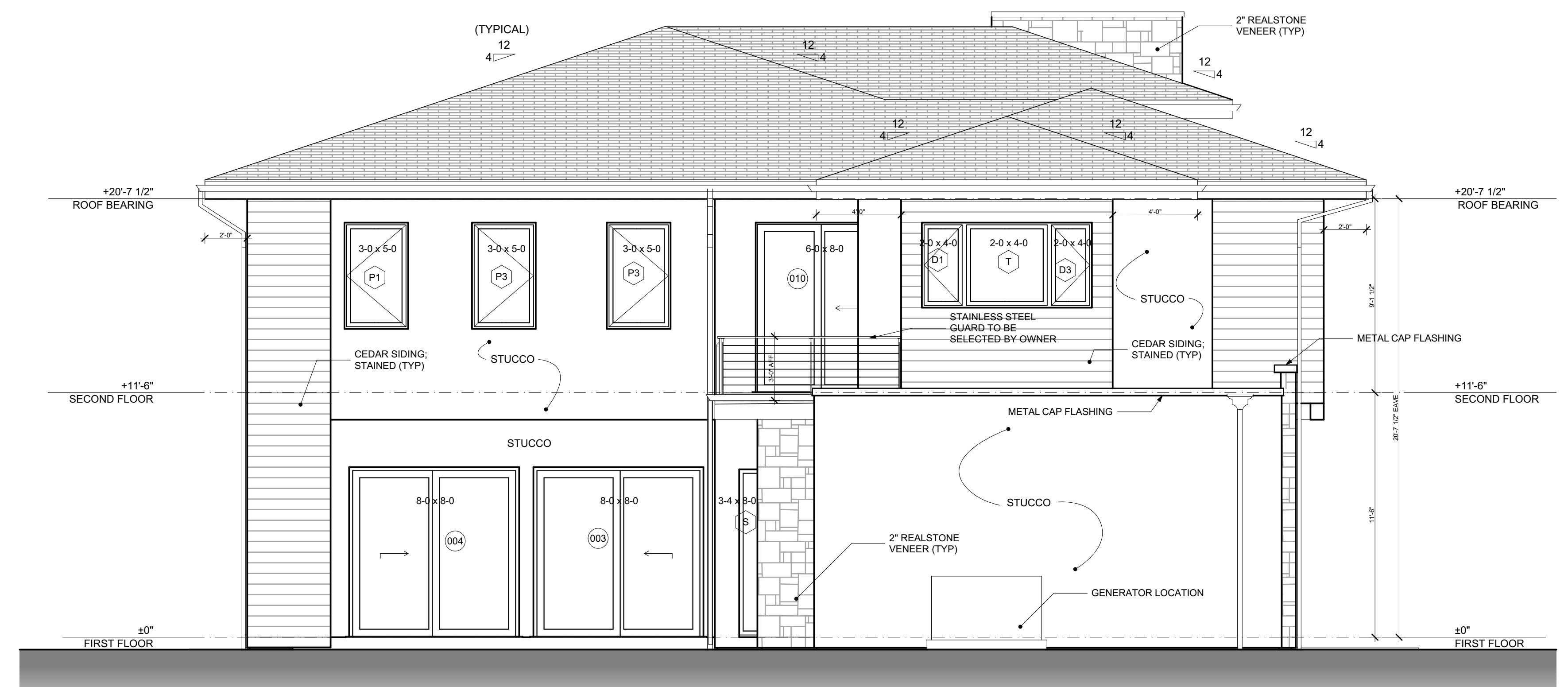
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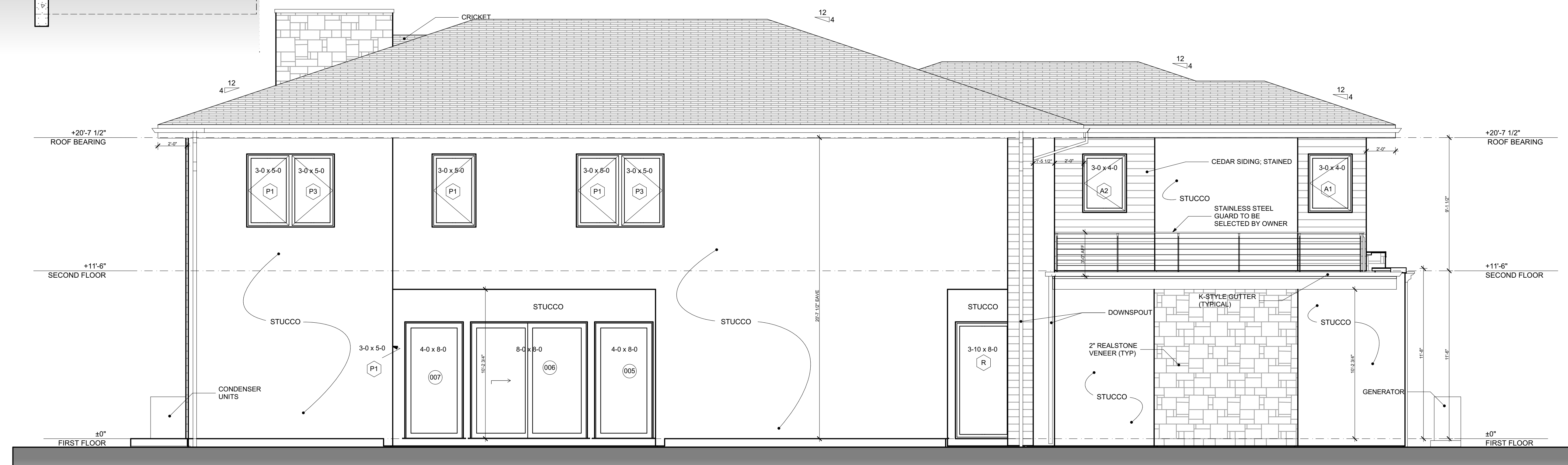
**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

DATE OF REVISIONS

**HARBORVIEW-LOT 3B**  
8432 Stevenson Road, Pikesville, Maryland 21208  
**ELEVATIONS**

PROFESSIONAL CERTIFICATION:

DATE 08/07/2020

PROJECT NUMBER 6119

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Tel: (410) 486-7800, Fax: (410) 581-0108  
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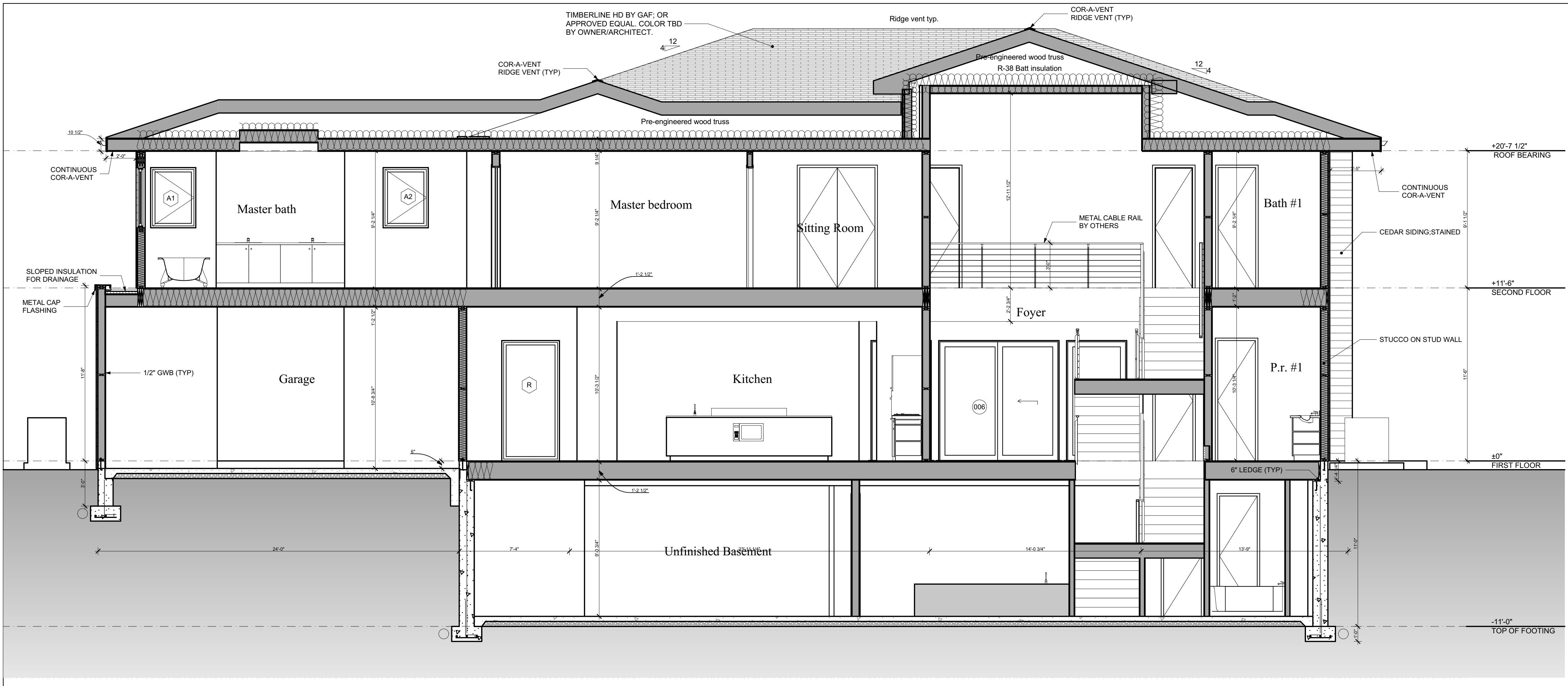


SHEET NUMBER

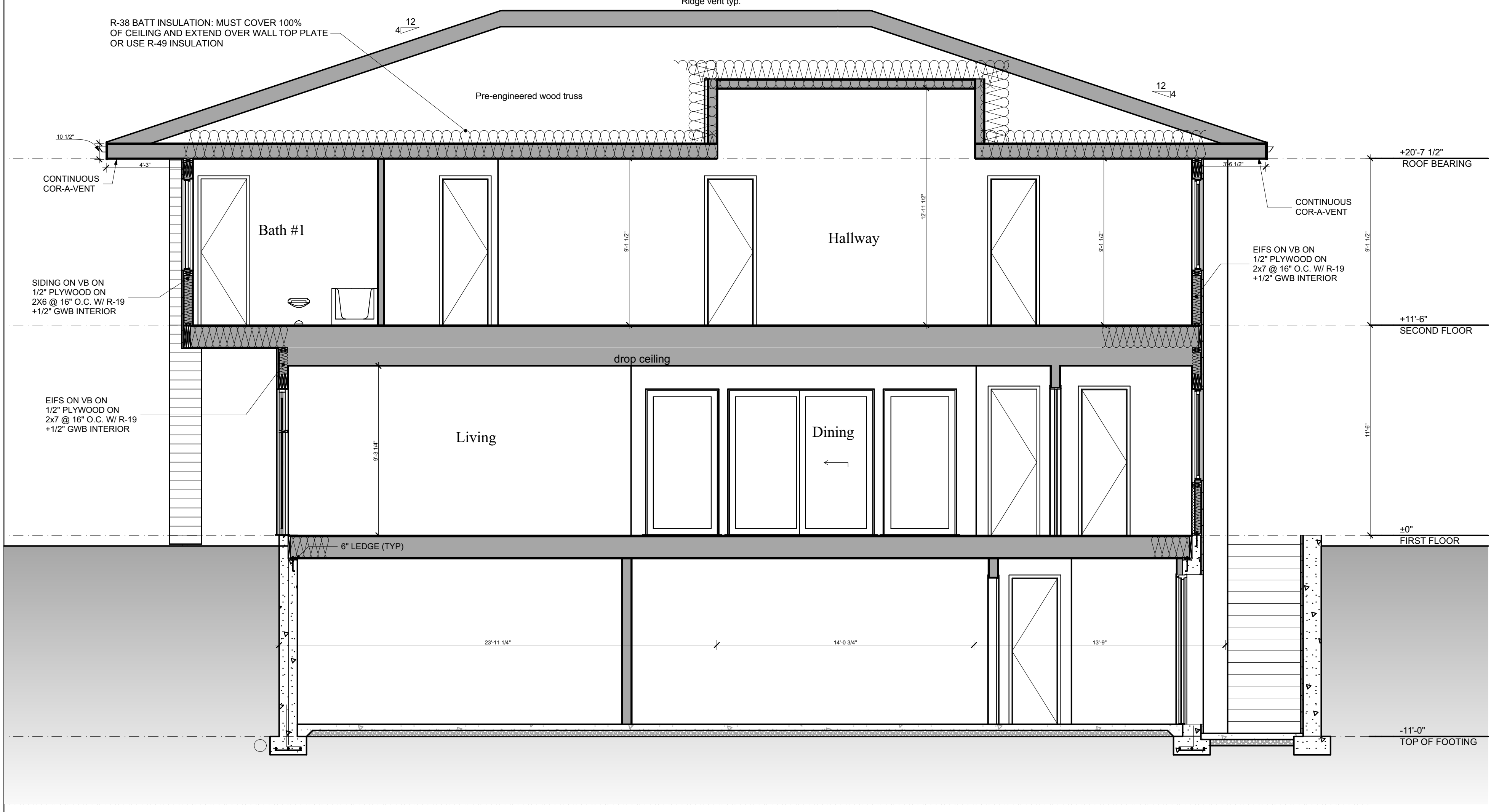
**A-201**

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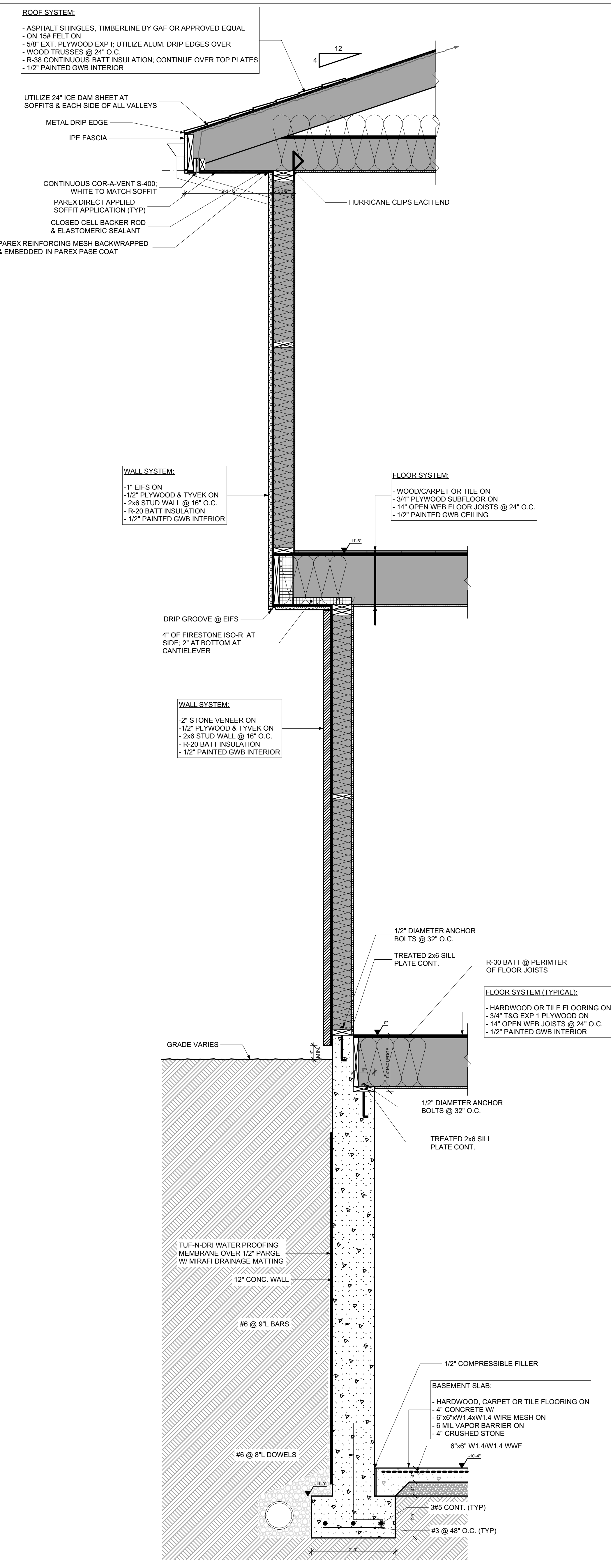




**1 SECTION**  
SCALE: 1/4" = 1'-0"



**2 SECTION**  
SCALE: 1/4" = 1'-0"



**3 WALL SECTION**  
SCALE: 3/4" = 1'-0"

DATE OF REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

**HARBORVIEW-LOT 3B**  
8432 Stevenson Road, Pikesville, Maryland 21208

**BUILDING SECTIONS & TYPICAL WALL SECTION**

PROFESSIONAL CERTIFICATION:

DATE: 08/07/2020  
PROJECT NUMBER: 6119

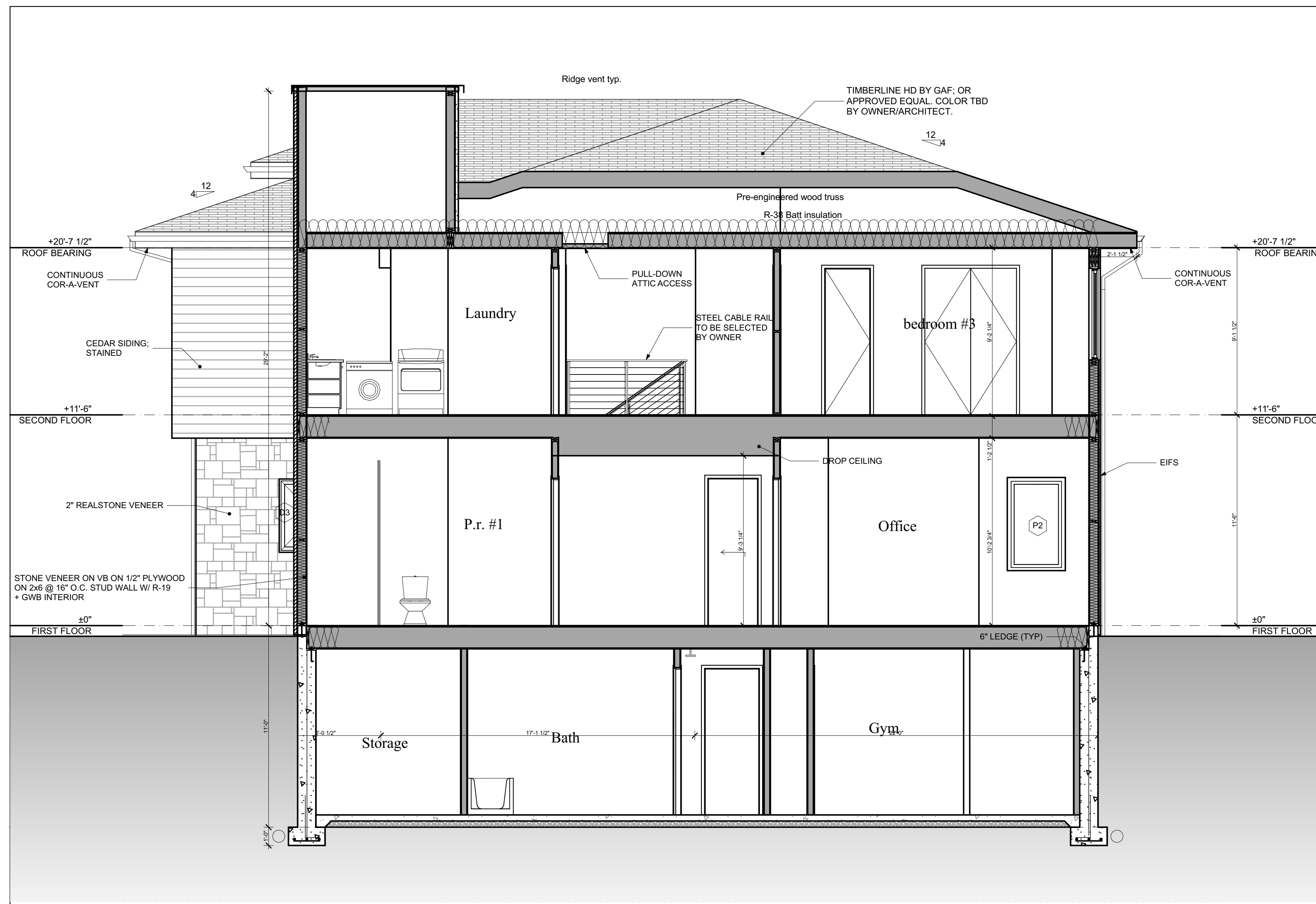
Levin/Brown & Associates, Inc.  
15 Greenspring Valley Road  
Owings Mills, Maryland 21117-1013  
Telephone: 410.400.4500 Fax: 410.581-0108  
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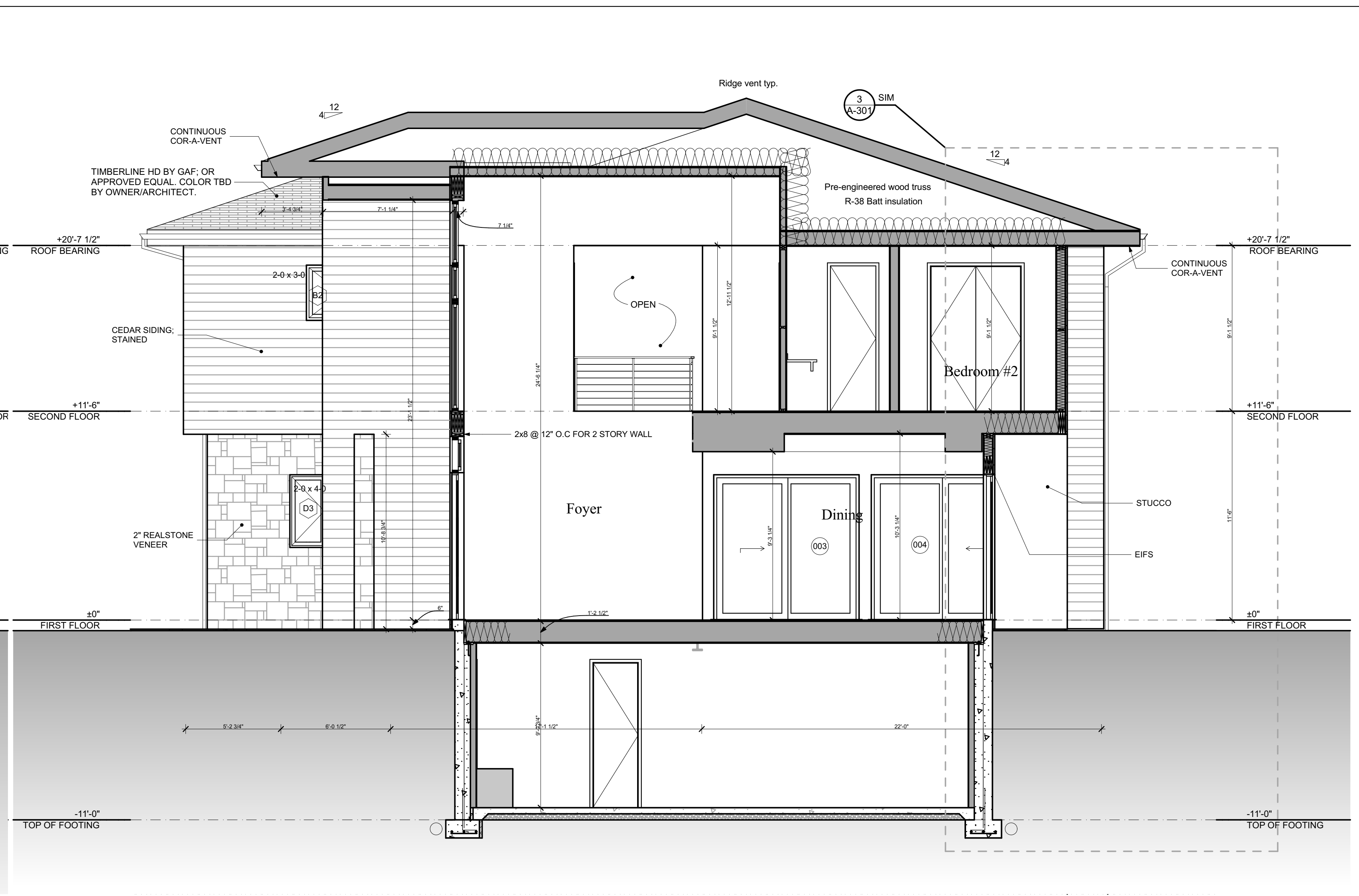
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**A-301**

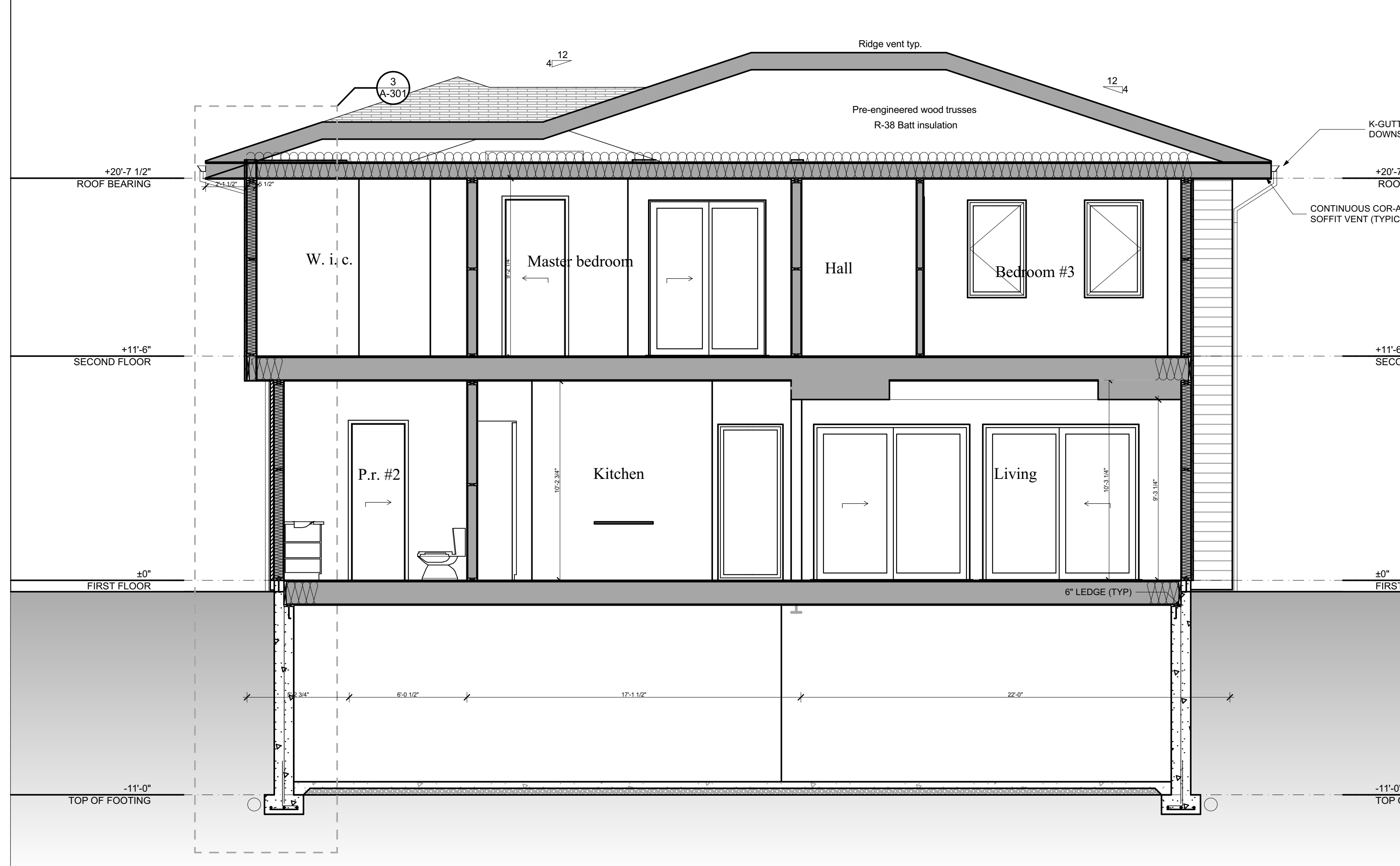
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**1 SECTION**  
SCALE: 1/4" = 1'-0"



**2 SECTION**  
SCALE: 1/4" = 1'-0"



**3 SECTION**  
SCALE: 1/4" = 1'-0"



**4 SECTION**  
SCALE: 1/4" = 1'-0"

DATE OF REVISIONS

**HARBORVIEW-LOT 3B**  
8432 Stevenson Road, Pikesville, Maryland 21208  
**BUILDING SECTIONS**

PROFESSIONAL CERTIFICATION:

DATE: 08/07/2020  
PROJECT NUMBER: 6119

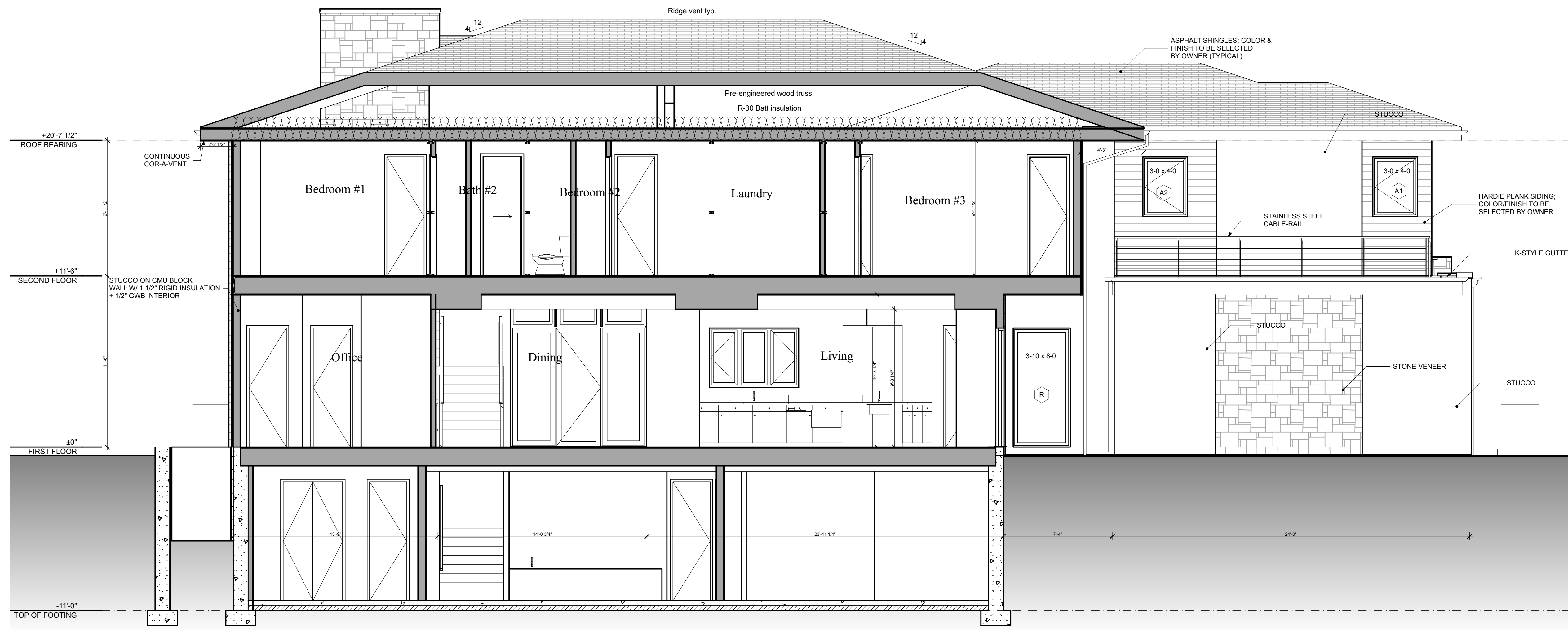
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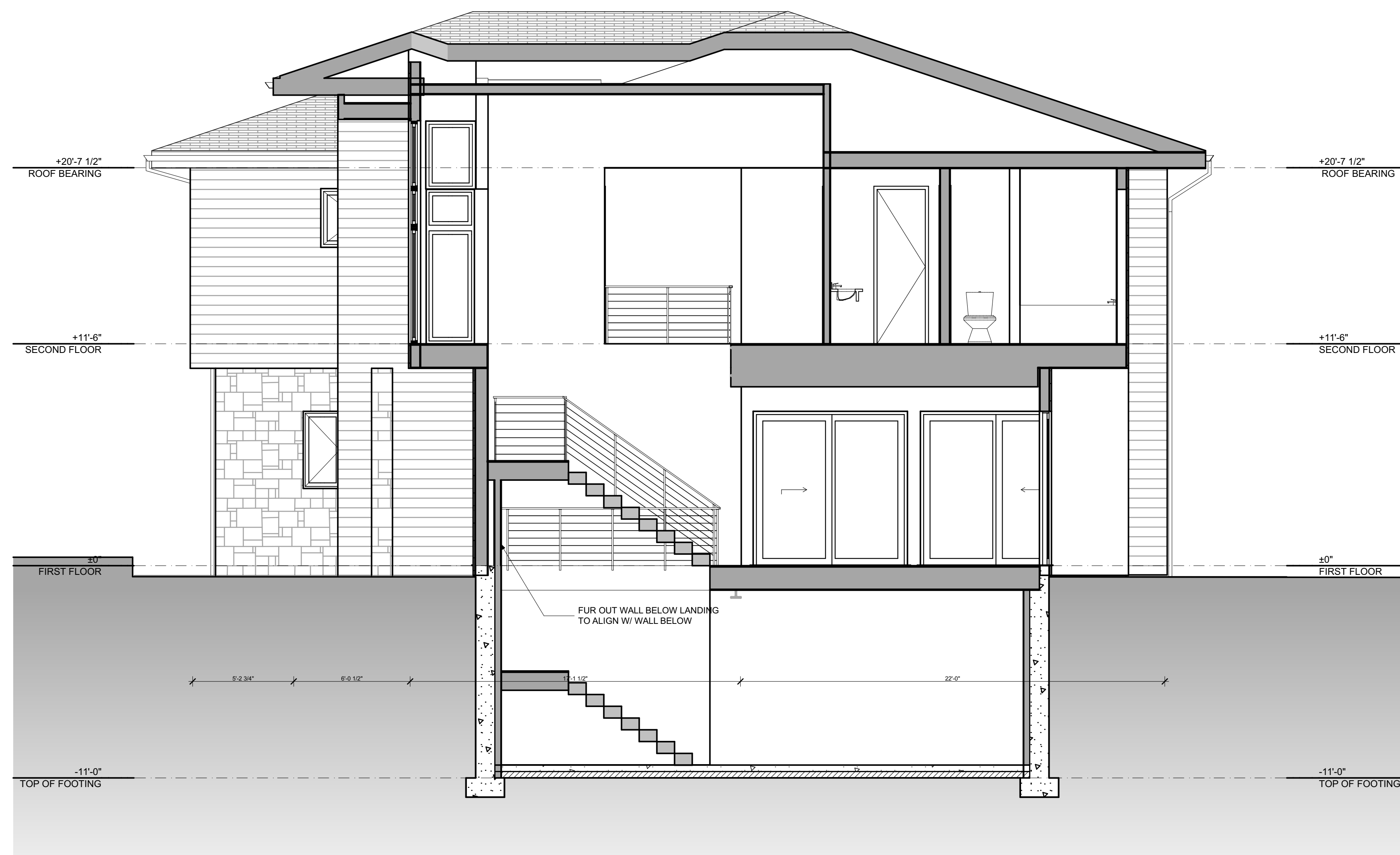
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**A-302**

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**1 SECTION**  
SCALE: 1/4" = 1'-0"



**2 SECTION @ STAIR**  
SCALE: 1/4" = 1'-0"

DATE OF REVISIONS

**HARBORVIEW-LOT 3B**  
8432 Stevenson Road, Pikesville, Maryland 21208  
**BUILDING SECTION**

PROFESSIONAL CERTIFICATION:

DATE 08/07/2020  
PROJECT NUMBER 6119

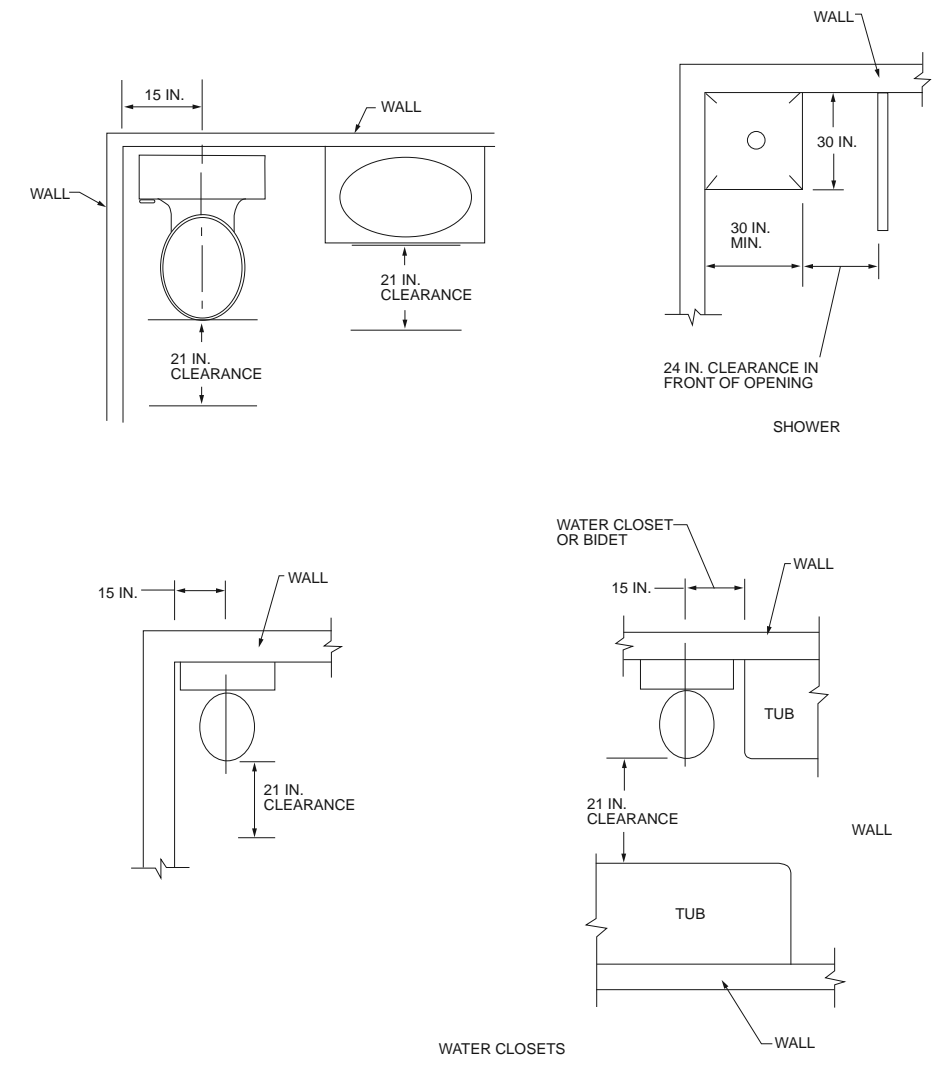
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**A-303**

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MIN. PLUMBING CLEARANCES TYP

NOT TO SCALE

DATE	REVISIONS

**HARBORVIEW-LOT 3B**  
 8432 Stevenson Road, Pikesville, Maryland 21208  
**DETAILS**

PROFESSIONAL  
 CERTIFICATION:  
 DATE 08/07/2020  
 PROJECT  
 NUMBER 6119

Levin/Brown & Associates, Inc.  
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 Owings Mills, Maryland 21117-4101  
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 Fax: (410) 581-0108  
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ARCHITECTS  
 SHEET NUMBER  
**A-501**  
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07/20/20 12:21 PM C:\architect\lebv\15170220\15170220.dwg PLOT DATE: 08/07/2020 10:40:58 AM

WINDOW SCHEDULE									
MARK	SIZE		QTY	TYPE	NOTES	VIEW FROM OPENING SI...	NOA FL	DP: POS/PSI / NEG/PSI	U FACTOR/SHGC
	WIDTH	HEIGHT							
A1	3'-0"	4'-0"	1	CASEMENT	EGRESS		17-0614.14	DP: +70/-91	U FACTOR: 1.05 SHGC: 0.25
A2	3'-0"	4'-0"	2	CASEMENT	EGRESS		17-0614.14	DP: +70/-91	U FACTOR: 1.05 SHGC: 0.25
B1	2'-0"	3'-0"	1	CASEMENT			17-0614.14	DP: +70/-91	U FACTOR: 1.05 SHGC: 0.25
B2	2'-0"	3'-0"	1	---			17-0614.14	DP: +70/-90	U FACTOR: 1.05 SHGC: 0.25
B2	2'-0"	3'-0"	1	CASEMENT			17-0614.14	DP: +70/-90	U FACTOR: 1.05 SHGC: 0.25
C	2'-0"	2'-0"	3	---			17-0614.15	DP: +70/-87.6	U FACTOR: 1.01 SHGC: 0.29
D1	2'-0"	4'-0"	1	CASEMENT			17-0614.14	DP: +70/-90	U FACTOR: 1.05 SHGC: 0.25
D2	2'-0"	4'-0"	3	---			17-0614.14	DP: +70/-90	U FACTOR: 1.05 SHGC: 0.25
D3	2'-0"	4'-0"	2	CASEMENT			17-0614.14	DP: +70/-90	U FACTOR: 1.05 SHGC: 0.25
E1	2'-0"	4'-0"	1	CASEMENT			17-0614.14	DP: +70/-90	U FACTOR: 1.05 SHGC: 0.25
E2	2'-0"	4'-0"	1	CASEMENT			17-0614.15	DP: +70/-90	U FACTOR: 1.01 SHGC: 0.29
E3	2'-0"	4'-0"	1	CASEMENT			17-0614.14	DP: +70/-90	U FACTOR: 1.05 SHGC: 0.25
F	3'-0"	3'-6"	3	---			17-0614.15	DP: +70/-90	U FACTOR: 1.01 SHGC: 0.29
G	2'-6"	3'-6"	1	---			17-0614.15	DP: +70/-90	U FACTOR: 1.01 SHGC: 0.29
H	3'-6"	3'-6"	1	---			17-0614.15	DP: +70/-90	U FACTOR: 1.01 SHGC: 0.29
I	3'-0"	2'-0"	3	---			17-0614.15	DP: +70/-90	U FACTOR: 1.01 SHGC: 0.29
J	2'-6"	2'-0"	1	---			17-0614.15	DP: +70/-90	U FACTOR: 1.01 SHGC: 0.29
K	3'-6"	2'-0"	1	---			17-0614.15	DP: +70/-90	U FACTOR: 1.01 SHGC: 0.29
L	3'-0"	6'-0"	3	---			17-0614.15	DP: +55.6/-55.6	U FACTOR: 1.01 SHGC: 0.29
M	2'-6"	6'-0"	1	---			17-0614.15	DP: +58.9/-58.9	U FACTOR: 1.01 SHGC: 0.29
N	3'-6"	6'-0"	1	---			17-0614.15	DP: +81.3/-81.3	U FACTOR: 1.0 SHGC: 0.29
P1	3'-0"	5'-0"	1	CASEMENT	EGRESS				
P1	3'-0"	5'-0"	5	CASEMENT	EGRESS		17-0614.14	DP: +59.3/-59.3	U FACTOR: 1.05 SHGC: 0.25
P2	3'-0"	5'-0"	4	---			17-0614.14	DP: +70/-74.3	U FACTOR: 1.05 SHGC: 0.25
P3	3'-0"	5'-0"	4	CASEMENT	EGRESS		17-0614.14	DP: +59.3/-59.3	U FACTOR: 1.05 SHGC: 0.25
R	3'-10"	8'-0"	1	---			18-0430.05	DP: +60.3/-60.3	U FACTOR: 0.99 SHGC: 0.33
S	3'-4"	8'-0"	1	---			18-0430.05	DP: +67.9/-67.9	U FACTOR: 0.99 SHGC: 0.33
T	4'-0"	4'-0"	1	FIXED			17-0614.15	DP: +70/-80.1	U FACTOR: 1.01 SHGC: 0.29

EXTERIOR DOOR SCHEDULE										
MARK	SIZE			MATL	QTY	NOTES	VIEW FROM OPENING SIDE (NTS)	NOA FL	DP: POS/PSI / NEG/PSI	U FACTOR / SHGC
	W	HT	THICKNESS							
01	5'-0"	8'-0"	1 1/4"		1					
001	3'-0"	8'-0"	1 1/4"	ALUMINUM	1	OUTSWING EXTERIOR OXO RH SIDELITES; SHGC: 0.36, DP: +34/-34, UF: 1.02		17-0504.01	DP: +34/-34	U FACTOR: 1.02 SHGC: 0.29
02	5'-0"	8'-0"	1 1/4"		1					
002	18'-0"	9'-0"	1 1/2"	ALUMINUM	1	CLOPAY AVANTE GARAGE DOORS IN DARK BRONZE WIND EXPOSURE C ASSET-10 CODE OR SWIMPACT WINDOWS LLC GLASS GARAGE DOOR DP: +46 PSF-58PSF SERIES S-2000-12 ALUMINUM AND GLASS SECTIONAL GARAGE DOOR		FL5684-R8 OR FL 17-0215.00	DP: +37PSF/-41.8 PSF OTHER: MAX WIND SPEED (V <sub>WI</sub> ): 170 MPH WINDCODE "W"-18W/17 IMPACT GLAZING REQ.	
003	8'-0"	8'-0"	1 1/4"	ALUMINUM	1	SLIDING GLASS DOOR		17-0420.12	DP: +46.7/-60	U FACTOR: 1.11 SHGC: 0.27
004	8'-0"	8'-0"	1 1/4"	ALUMINUM	1	SLIDING GLASS DOOR		17-0420.12	DP: +46.7/-60	U FACTOR: 1.11 SHGC: 0.27
005	4'-0"	8'-0"	1 1/4"	ALUMINUM	1	FIXED GLASS DOOR		18-0430.05	DP: +58.2/-58.2	U FACTOR: 0.99 SHGC: 0.27
006	8'-0"	8'-0"	1 1/4"	ALUMINUM	1	SLIDING GLASS DOOR		17-0420.12	DP: +46.7/-60	U FACTOR: 1.11 SHGC: 0.27
007	4'-0"	8'-0"	1 1/4"	ALUMINUM	1	FIXED GLASS DOOR		18-0430.05	DP: +58.2/-58.2	U FACTOR: 0.99 SHGC: 0.33
009	3'-0"	8'-0"	1 1/4"		1					
010	6'-0"	8'-0"	1 1/4"	ALUMINUM	1	SLIDING GLASS DOOR		17-0420.12	DP: +46.7/-60	U FACTOR: 1.11 SHGC: 0.27

NOTE: ALL INTERIOR DOORS SHALL BE TRUSTILE MDF PAINTED DOOR STYLE TO BE SELECTED BY OWNER/ARCHITECT/DESIGNER.  
 ALL WINDOWS TO HAVE DRYWALL RETURNS AT INTERIOR (TYP)  
 ALL WINDOWS TO BE IMPACT RESISTANT ALUMINUM FRAME FROM WINGUARD CA740  
 ALL DOORS TO HAVE FLAT INTERIOR CASING 2" ASSUMED (TYP)  
 BASE MOULING SHALL BE 1X8 PAINTED (TYP)  
 CROWN MOULDING: TBD

DATE OF REVISIONS

HARBORVIEW-LOT 3B  
 8432 Stevenson Road, Pikesville, Maryland 21208

SCHEDULES

PROFESSIONAL CERTIFICATION:

DATE: 08/07/2020  
 PROJECT NUMBER: 6119

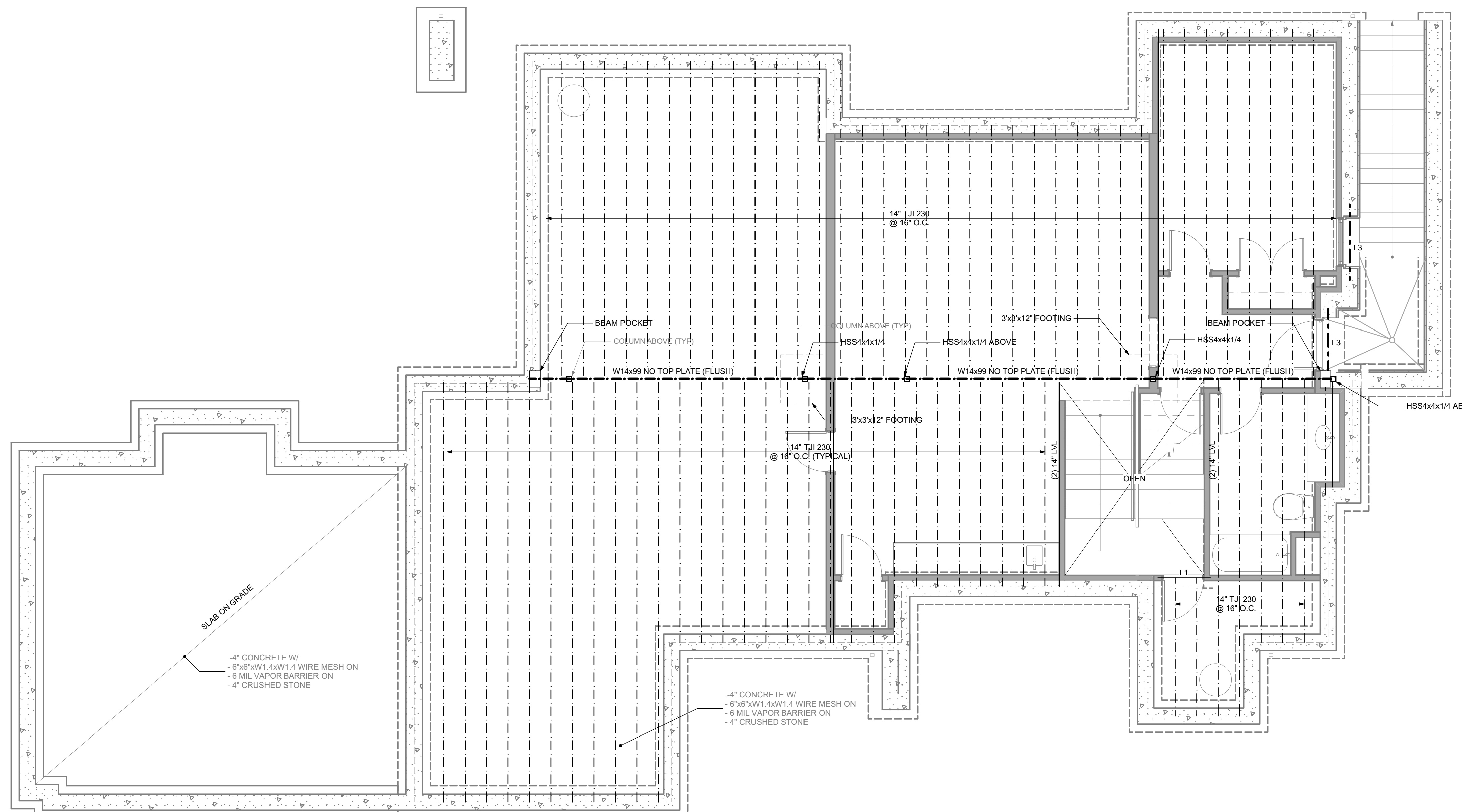
Levin/Brown & Associates, Inc.  
 15 Greenspring Valley Road  
 Owings Mills, Maryland 21117-1101  
 Tel: (410) 581-0100 Fax: (410) 581-0108  
 www.levinbrown.com



SHEET NUMBER

A-601

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**LINTELS**  
 L1 = (3)-1 3/4"x14" LVL  
 L2 = (3)-2x8 + (2) 1/2" PLYWOOD PLATES  
 OR  
 (3)-1 3/4"x7 1/2" LVL  
 L3 = (3) 4"x8" PRECAST CONCRETE LINTELS; 8" BEARING E.E.  
 L4 = (3) 1 3/4"x16" LVL  
 L5 = (3) 1 3/4"x18" LVL

**POSTS**  
 P1 = 6x6 WOOD POST (NOMINAL)  
 P2 = 6x8 WOOD POST (NOMINAL)

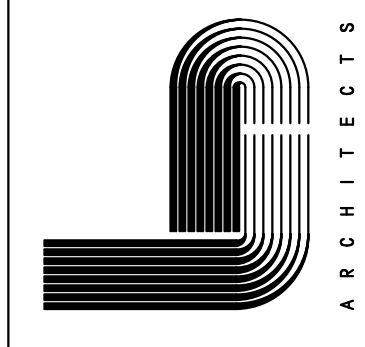
DATE OF REVISIONS

**HARBORVIEW-LOT 3B**  
 8432 Stevenson Road, Pikesville, Maryland 21208  
**FOUNDATION AND FIRST FLOOR FRAMING PLANS**

PROFESSIONAL  
 CERTIFICATION:

DATE 08/07/2020  
 PROJECT NUMBER 6119

**Levin/Brown & Associates, Inc.**  
 15 GreenSpring Valley Road  
 Owings Mills, Maryland 21117-4101  
 Telephone: (410) 305-3704, Fax: (410) 581-0108  
 www.levinbrown.com



P:\2020\122019 - C:\hard\ref\ref\ref\122019\FLOORING\FLOORING-21117-4101.dwg, Plot: 08/07/2020, 11:40:10, 1/4" = 1'-0"



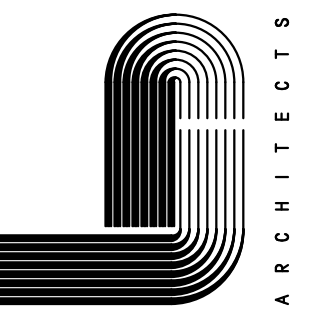
DATE OF REVISIONS

**HARBORVIEW-LOT 3B**  
 8432 Stevenson Road, Pikesville, Maryland 21208  
**ROOF FRAMING PLAN**

PROFESSIONAL  
 CERTIFICATION:

DATE 08/07/2020  
 PROJECT NUMBER 6119

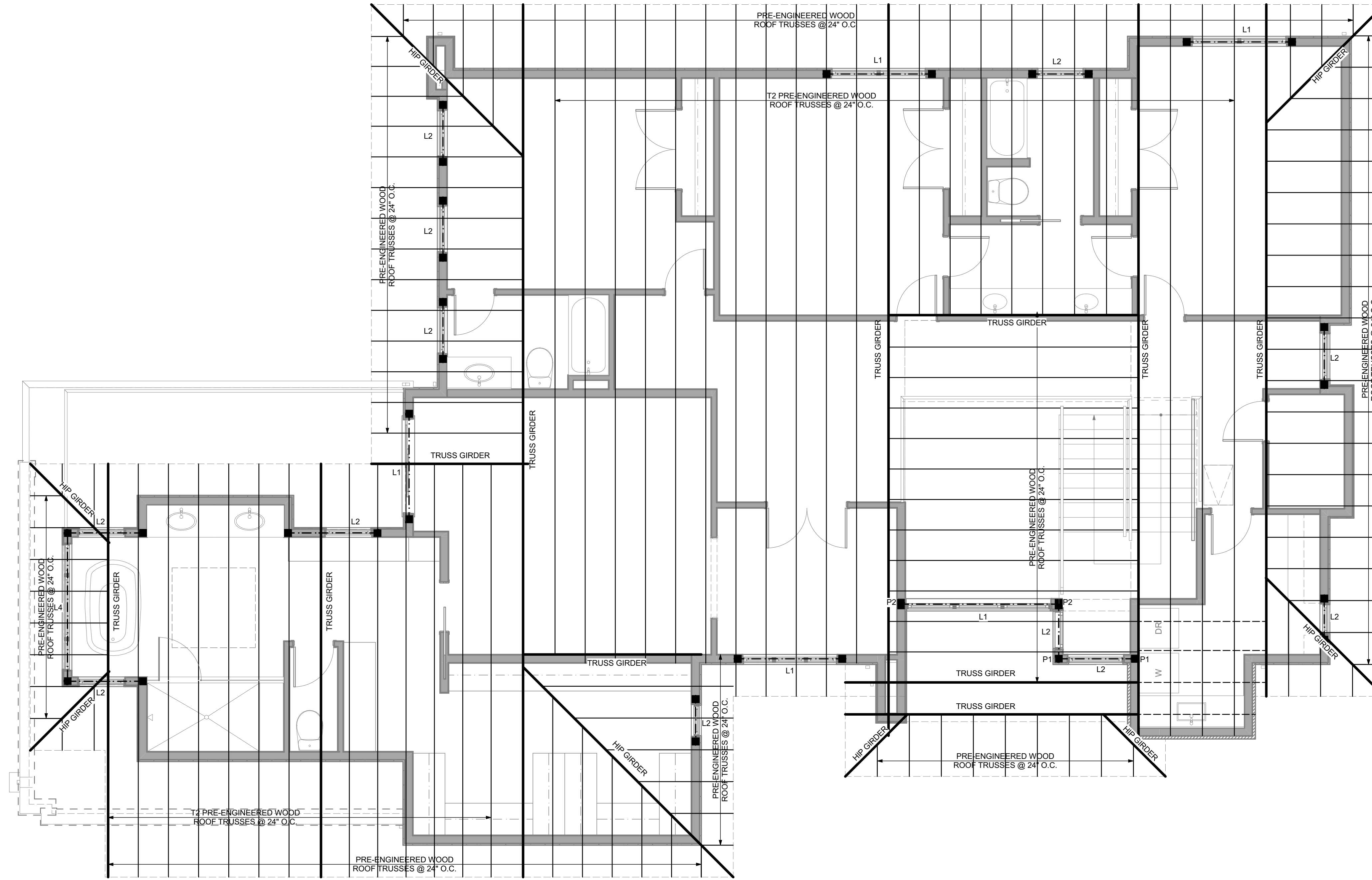
**Levin/Brown & Associates, Inc.**  
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 www.levinbrown.com



SHEET NUMBER

**S-101**

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**WOOD TRUSS DESIGN**

LL-30 PSF  
 DL-20 PSF  
 SPACING - 24" O.C.  
 T= TRUSS  
 GT= GIRDER TRUSS

**LINTELS**

L1 = (3)-1 3/4"x14" LVL  
 L2 = (3)-2x8 + (2) 1/2" PLYWOOD PLATES  
 OR  
 (3)-1 3/4"x7 1/2" LVL  
 L3 = (3) 4"x8" PRECAST CONCRETE LINTELS; 8" BEARING E.E.  
 L4 = (3) 1 3/4"x16" LVL

**ROOF DECK**

5/8" EXP I PLYWOOD

**WALLS**

EXT = 2x6 @ 16" O.C. + 1/2" EXP I SHEATHING

**NOTE:**

ALL GT AND LINTELS TO BEAR  
 ON 6x6 POSTS OR (3)-2x6s UNLESS NOTED OTHERWISE

**1** ROOF FRAMING PLAN  
 SCALE: 1/4" = 1'-0"

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