



FOR SALE
26-unit Townhome Site
Elkridge, MD



7720 Port Capital Drive

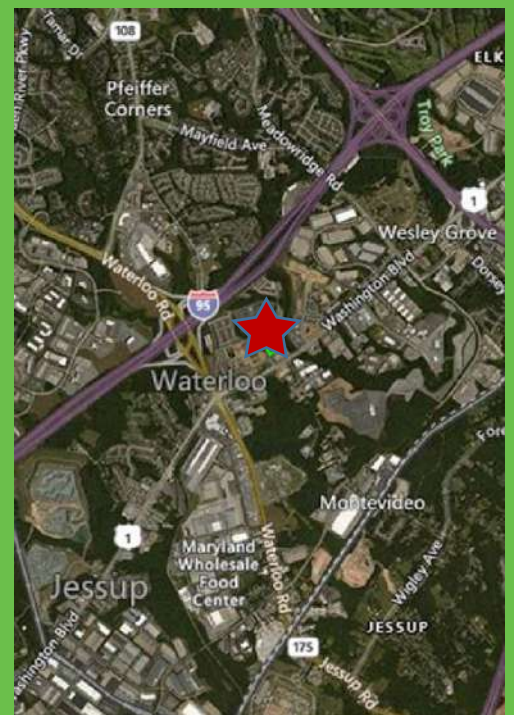
Elkridge, Howard County, Maryland 21075

Property Features:

- Potter's Place, The Oaks at Waters Edge Phase III, Parcel A.
- 26 two-over-two units. 23 are market rate; 3 are MIHU.
- Permit-ready; utilities at site.
- Buyer to finish lots.
- 2/2 units at adjacent Delacour at Blue Stream, starting at \$349K for lower unit and \$429K for upper unit.
- Now accepting offers; 4% buyer's premium.

Offers due October 30, 2020

See the following pages for plans and site contractor pricing.



4% buyer's
premium

CONTACT AGENT:

Stephen Ferrandi

866.910.LAND(5263) | 410.925.4566

Stephen@MarylandLand.com

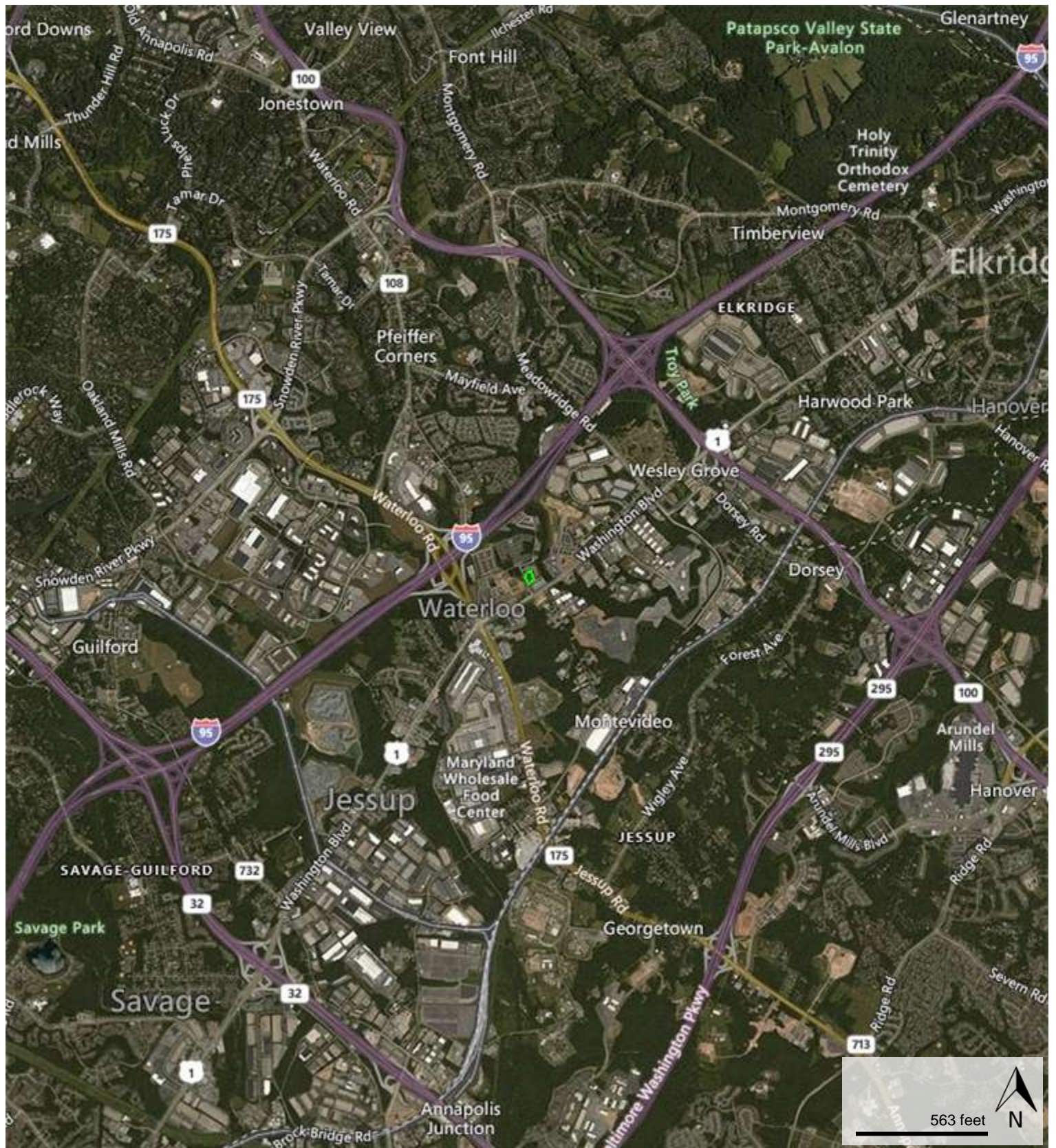
MARYLAND LAND ADVISORS

5771 Waterloo Road, Ellicott City, MD 21043

866.910.LAND | MarylandLand.com

Learn more about this property at [MarylandLand.com](https://www.MarylandLand.com)

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Potter's Place Site Contractor Bids

	Potter's P Bids	S.E.H.	Gaines
General Conditions	Est Costs	\$36,123	incl
Demolition		\$20,875	\$40,450
Mobilization		\$13,641	incl
Clearing, Mowing		\$2,707	incl
SED CONTR		\$32,366	\$46,750
ECAVATION		\$76,643	\$103,500
SWM Underground 42"		\$135,039	\$78,200
SWM MBR 1,2,3		\$44,019	\$74,450
SANITARY SEWER/HC		\$97,946	\$64,740
STORM DRAINS		\$70,243	\$77,315
WATER SERV/HC		\$106,031	\$116,800
CURB GUTTER		\$30,725	\$27,500
PAVING/MARKINGS		\$74,444	\$86,350
TRAFFIC CONTROL		Incl	\$12,000
REMOVE SED CONTR		\$9,522	\$8,000
Stabilization		incl	incl
Soil Cement			
STREET SIGNS			
Street Lights			
Landscaping			
Tot Lot			
Concrete trash pad		\$5,500	\$5,500
Sidewalks,ramps		\$43,247	
GEO TESTING			
Stake out and As Builts			
BOND FEES			
COUNTY FEES			
BGE			
5% Contingency			
Total		\$799,071	\$741,555
Sidewalks/Pad		\$48,747	\$5,500
Net Bid		\$750,324	\$736,055



Property Detail Report

7720 PORT CAPITAL DR ELKRIDGE MD 21075

Owner Information

Owner Name 1	PORT CAPITAL CENTER OF MARYLAND LLC	Owner Name 2	--
		Mailing Address	PO BOX 416 ELLICOTT CITY MD 21041
Owner Type	--	Vesting Code	--
Vesting Code Desc	--		

Location Information

Legal Description

PAR A 1.7931 A 7720 PORT CAPITAL DRIVE OAKS AT WATERS EDGE PH3

County	HOWARD	Parcel No. (APN)	01-187740
FIPS Code	24027	Alternative APN	--
Census Trct/Blk	601203/1	Legal Book/Page	--
Twnshp-Rnge-Sect	--	Map Reference	--
Legal Land Lot	A	School District	Howard County Public Schools
Legal Block	--	Subdivision	--

Last Market Sale Information

Recording Date	1998/08/12 00:00:00	New Construction	--
Sale Date	1998/08/12 00:00:00	1st Mtg Amount	\$
Sale Price	--	1st Mtg Type	--
Price Per SF	--	1st Mtg Doc. No.	--
Price Per Acre	--	Sale Doc. No.	986554
Deed Type	GRANT DEED/DEED OF TRUST	Transfer Doc. No.	986554
Sale Type	INSURED NON-RESIDENTIAL	Seller Name	, PORT CAPITAL CENTER LLP
	GRANT DEED	Title Company	--
Lender			

Last Transfer of Ownership

Recording Date	1998/08/12 00:00:00	Book Number	04393
Doc. Number	986554	Page Number	00334
Doc. Type	DE		

Prior Sale Information

Recording Date	--	Sale Type	--
Sale Date	--	Transfer Doc. No.	--
Sale Price	--	New Construction	--
Sale Doc. No.	--	Title Company	--
Seller Name	--	Lender	--

Property Characteristics

Building Area	--	Total Rooms	--
No. of Units	--	Bedrooms	--
No. of Stories	--	Bathrooms	0
Year Built	--	Basement	--
Condition	--	Basement Area	--
Construction	--	Heat Type	--
Roof Type	--	Air Cond. Type	--
Roof Material	--	Fireplace	--
Parking Spaces	--		

Site Information

Zoning	B1	Assessor Acreage	1.79
County Use Code	C	Calculated Acreage	1.8
County Use Code Desc.	VACANT COMMERCIAL	Assessed Lot SF	77,972
Land Use Code	8002	Calculated Lot SF	78,478
Land Use Desc.	COMMERCIAL-VACANT LAND	Assessor Lot W/D	/
Land Use Category	VACANT LAND	Topography	--

Tax and Value Information

Tax Year	2019	Improvement Value	--
Property Tax	\$6,558	Improvement %	--
Tax Rate Code	000	Market Value Year	2020
Tax Exemption	--	Total Market Value	\$467,800
Assessed Year	2020	Land Market Value	467800
Assessed Value	\$467,800	Market Imprv. Value	--
Land Value	\$467,800	AVM Value	--

Hazard Information

Flood Zone	X	Flood Panel	--
Flood Panel Date	--	Wetland Type	--
Wetland Classification	--		



Bird's Eye Map View

7720 PORT CAPITAL DR ELKRIDGE MD 21075





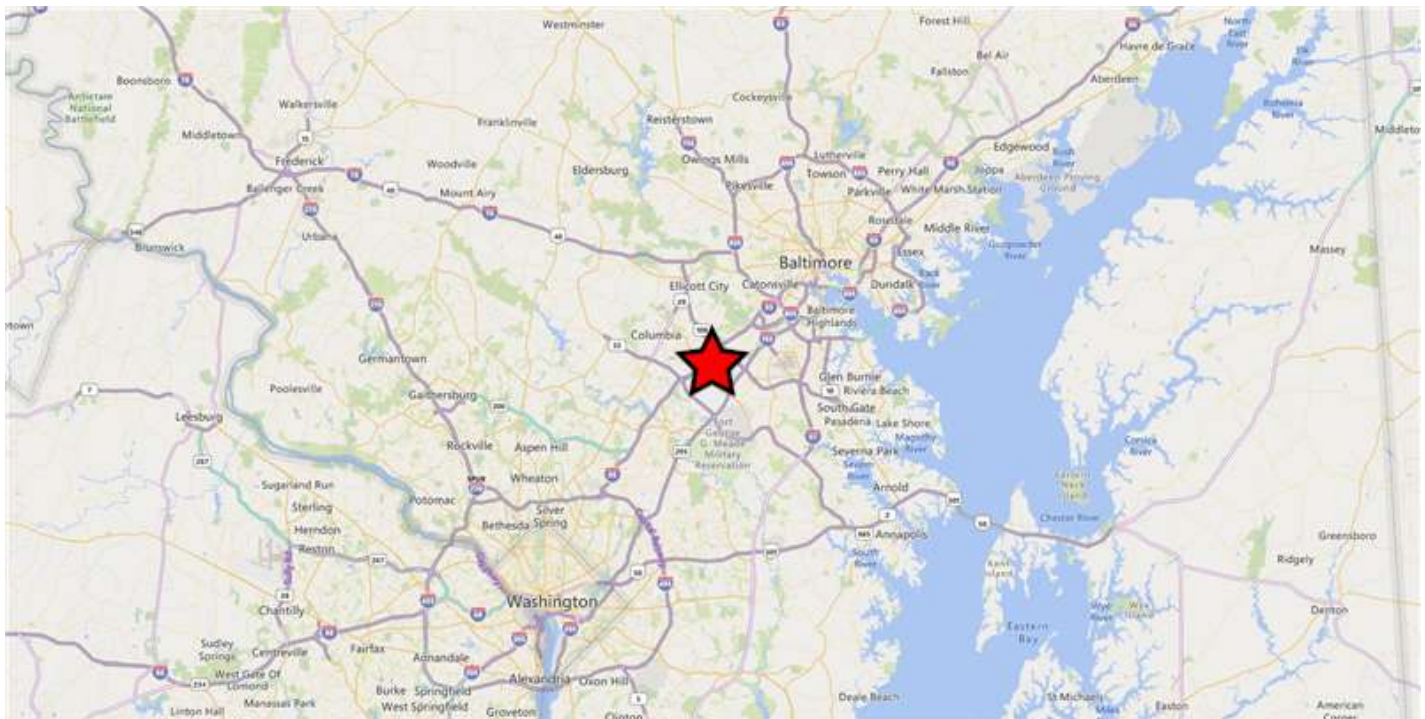
Neighborhood & Regional Map

7720 PORT CAPITAL DR ELK RIDGE MD 21075

Neighborhood



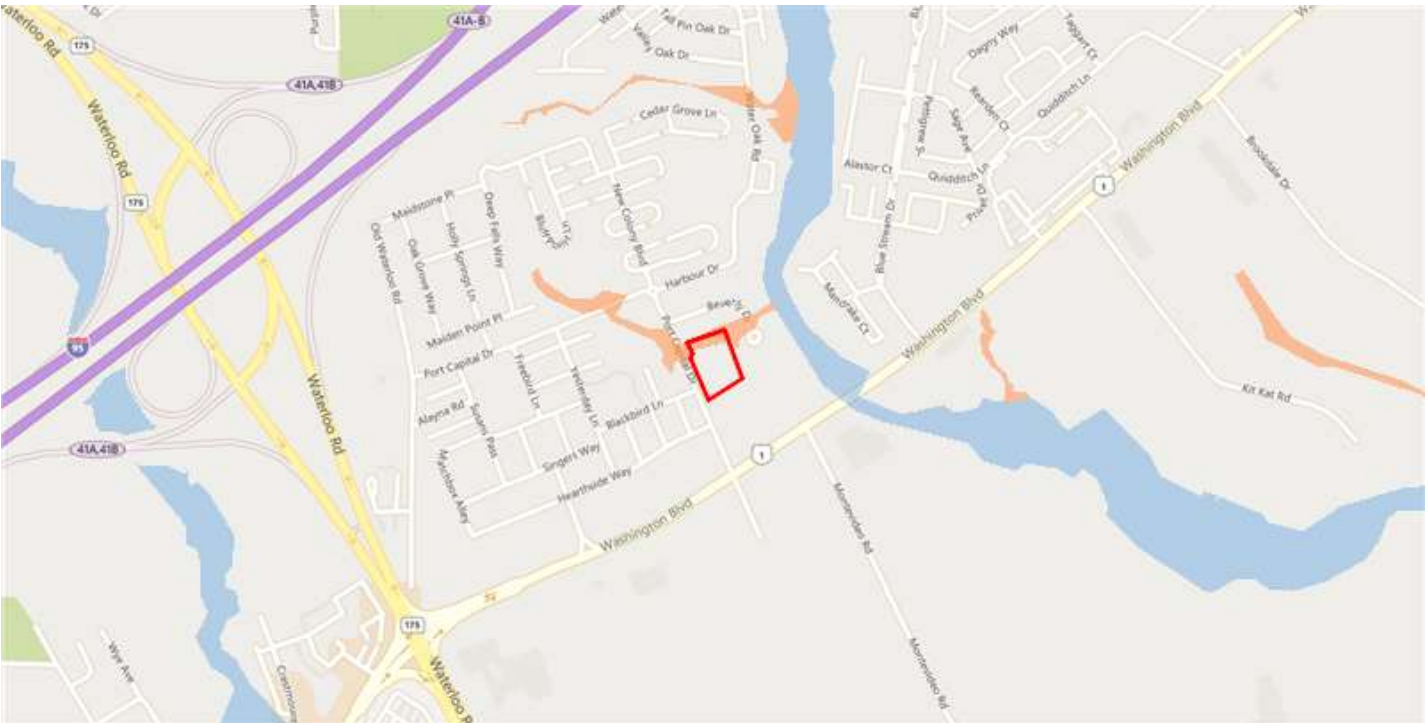
Regional





Flood Map Report

7720 PORT CAPITAL DR ELKRIDGE MD 21075



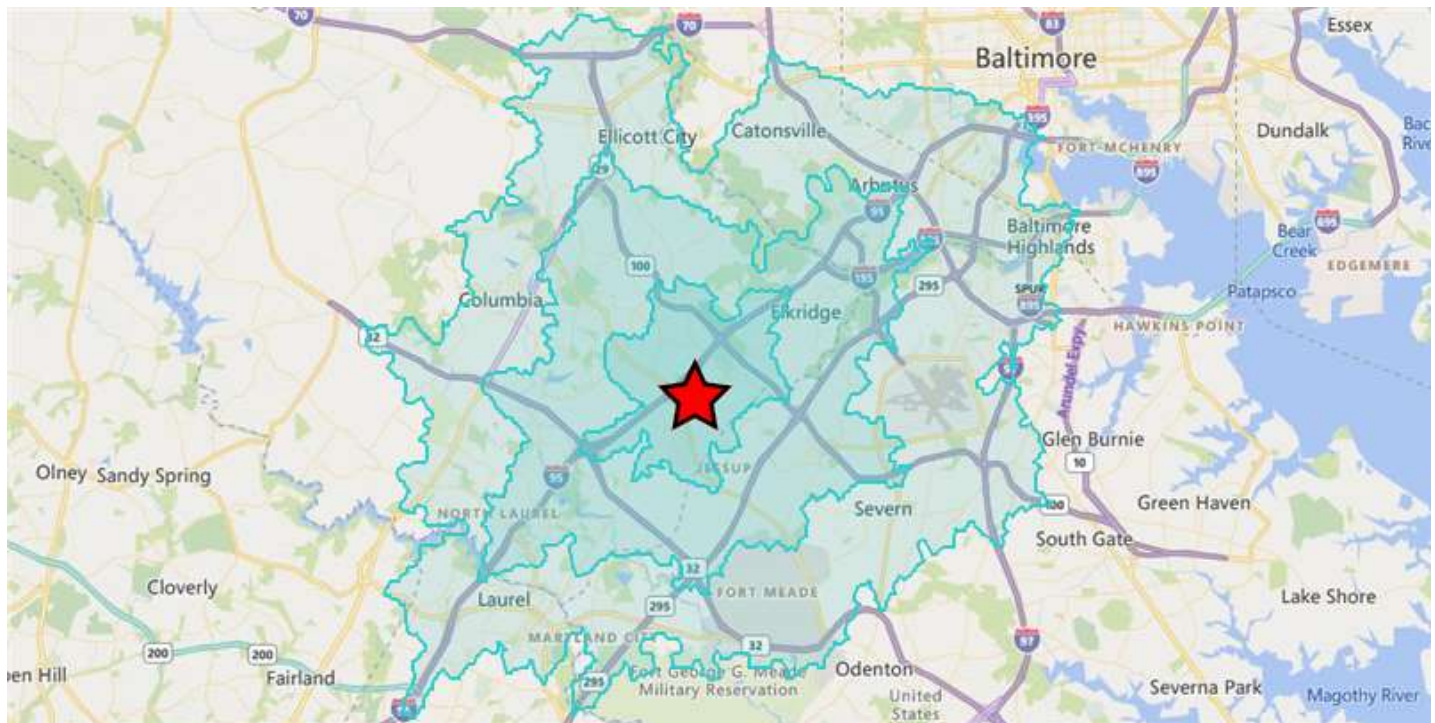
Legend

- Flood Zone**
- Floodway
 - 1% Annual Chance Flood Hazard (100-Year)
 - 0.2% Annual Chance Flood Hazard (500-Year)



Demographics

7720 PORT CAPITAL DR ELKRIDGE MD 21075



Area and Density

	5 Minutes	10 Minutes	15 Minutes
Area (Square Miles)	9.57	74.72	207.12
Density(Population Per Square Mile)	2,721	2,154	2,489

General Population Characteristics

	5 Minutes	10 Minutes	15 Minutes
Male	13,178	81,063	252,615
Female	12,860	79,884	262,921
Density	2,721	2,154	2,489
Urban	26,038	160,947	515,272
Rural	--	--	264

Population By Year

	5 Minutes	10 Minutes	15 Minutes
Population (1990)	11,321	96,658	375,093
Population (2000)	20,611	125,088	431,455
Population (2010)	23,363	143,378	474,081
Population (Current)	26,038	160,947	515,536
Population (5 Yr. Forecast)	26,829	165,452	526,465
Percent Growth (Current Yr./Previous Yr.)	11.39%	11.97%	7.49%
Percent Forecast (5 Yr. Forecast/Current Yr.)	2.99%	2.71%	1.75%

Population By Age

	5 Minutes	10 Minutes	15 Minutes
Median Age	35	37	38
Aged 0 to 5	2,283	12,418	39,556
Aged 6 to 11	2,210	13,013	40,068
Aged 12 to 17	1,964	12,442	38,544
Aged 18 to 24	1,909	11,612	44,495
Aged 25 to 34	5,263	27,773	85,963
Aged 35 to 44	4,487	25,338	72,246
Aged 45 to 54	3,435	21,461	66,145
Aged 55 to 64	2,526	19,160	62,056
Aged 65 to 74	1,430	12,105	40,550
Aged 75 to 84	402	4,239	17,565
Aged 85+	129	1,386	8,348
Total Population	26,038	160,947	515,536

Population By Race

	5 Minutes	10 Minutes	15 Minutes
White Alone	12,066	79,345	250,564
Black Alone	6,380	44,090	154,840
Asian Alone	5,113	22,854	61,291
Native American and Alaska Native Alone	99	662	2,251
Other Race Alone	849	5,050	19,640
Two or More Races	1,531	8,946	26,950

Population By Ethnicity

	5 Minutes	10 Minutes	15 Minutes
Hispanic	1,924	11,924	45,565
White Non-Hispanic	11,428	75,015	233,733

General Income Characteristics

	5 Minutes	10 Minutes	15 Minutes
Median Household Income	\$136,631	\$135,442	\$116,356
Total Household Income	\$1,511,091,819	\$9,043,112,578	\$25,969,553,297
Average Household Income	\$161,407	\$156,320	\$134,497
Per Capita Income	\$58,034	\$56,187	\$50,374
Avg Family Income	\$190,664	\$172,101	\$146,400
Family Income, Per Capita	\$61,747	\$53,737	\$45,879

Families by Income

	5 Minutes	10 Minutes	15 Minutes
Family High Income Avg	\$304,187	\$315,662	\$314,482
Under \$15,000	121	872	4,159
\$15,000 - \$24,999	106	695	3,335
\$25,000 - \$34,999	139	901	4,113
\$35,000 - \$49,999	246	1,700	7,746
\$50,000 - \$74,999	446	2,990	12,228
\$75,000 - \$99,999	747	3,851	14,445
\$100K - \$125K	716	4,724	14,730
\$125K - \$150K	796	4,538	14,682
\$150K - \$200K	1,119	6,965	18,860
Over \$200K	2,291	13,945	35,698

General Household Characteristics

	5 Minutes	10 Minutes	15 Minutes
Households (Current)	9,362	57,850	193,086
Families	6,727	41,181	129,996
Average Size of Household	2.7	2.61	2.6
Median Age of Householder	46	49	50
Median Value Owner Occupied	\$305,223	\$337,899	\$307,399
Median Rent	\$1,308	\$1,388	\$1,261
Median Vehicles Per Household	2	2	2
Housing Units	9,748	60,299	204,367
Owner Occupied Units	7,152	43,454	123,910
Renter Occupied Units	2,210	14,396	69,176
Vacant Units	386	2,449	11,281

Households by Income

	5 Minutes	10 Minutes	15 Minutes
Under \$15,000	193	1,926	9,492
\$15,000 - \$24,999	172	1,386	7,016
\$25,000 - \$34,999	220	1,617	7,871
\$35,000 - \$49,999	494	2,782	14,232
\$50,000 - \$74,999	973	6,058	24,943
\$75,000 - \$99,999	1,187	6,780	24,761
\$100K - \$125K	908	6,880	22,453
\$125K - \$150K	1,105	6,482	19,846
\$150K - \$200K	1,548	8,847	23,890
Over \$200K	2,562	15,092	38,582
Total Households	9,362	57,850	193,086

Households by Rent Value

	5 Minutes	10 Minutes	15 Minutes
Under \$250	19	546	2,638
\$250-\$499	67	388	2,487
\$500-\$749	117	801	5,718
\$750-\$999	206	1,198	12,497
\$1,000-\$1,249	114	2,048	12,779
\$1,250-\$1,499	812	4,076	14,032
\$1,500-\$1,999	698	3,820	13,077
Over \$2,000	70	1,025	4,425
Total Renter Occupied Units	2,210	14,396	69,176

Households by Year Built

	5 Minutes	10 Minutes	15 Minutes
Median Year Built	1994	1987	1979
Built 2010 or Later	1,894	11,663	34,647
Built 2000 to 2009	1,689	7,929	19,869
Built 1980 to 1989	2,149	12,249	33,942
Built 1970 to 1979	453	9,558	26,863
Built 1960 to 1969	212	2,495	17,941
Built 1950 to 1959	150	2,548	21,187
Built 1940 to 1949	84	1,083	7,863
Built 1939 or Earlier	3,079	11,367	28,861
Total Households (2000)	7,326	43,576	160,041
Total Households (2010)	8,148	50,592	175,613
Total Households (Current)	9,362	57,850	193,086
Total Households (5 Yr. Forecast)	9,697	59,747	197,687
Percent Growth (Current Yr./Previous Yr.)	15.35%	13.86%	8.78%
Percent Forecast (5 Yr. Forecast/Current Yr.)	3.54%	3.1%	1.9%

Households by Inhabitants

	5 Minutes	10 Minutes	15 Minutes
Median Size	3	2.94	2.83
1 Person	1,939	12,708	49,422
2 Person	2,947	18,506	59,733
3 Person	1,830	10,612	33,760
4 Person	1,733	9,716	29,065
5 Person	574	3,859	12,293
6 Person	170	1,263	4,792
7 or More Person	169	1,186	4,021
Total Households	9,362	57,850	193,086

Employment By Place Of Business

	5 Minutes	10 Minutes	15 Minutes
Total Employees	14,406	142,997	297,068
Total Establishments	679	6,106	13,595

Employment Travel Time

	5 Minutes	10 Minutes	15 Minutes
Work at Home	448	3,414	10,149
Travel Time under 15min	2,062	13,542	43,197
Travel Time 15-29min	--	--	--
Travel Time 30-59min	3,829	25,962	81,334
Travel Time 60-89min	1,165	6,148	19,596
Travel Time over 90min	478	2,643	8,506
Population	26,038	160,947	515,536

Education Attainment Over 25

	5 Minutes	10 Minutes	15 Minutes
Less than High School	1,092	7,688	30,298
High School	2,946	18,599	72,975
Some College	2,783	18,338	65,483
Associate's Degree	1,248	7,363	24,670
Bachelor's Degree	4,988	32,213	86,350
Master's Degree	3,542	20,042	53,520
Professional Degree	571	3,486	9,350
Doctorate Degree	502	3,733	10,227
Total Population	26,038	160,947	515,536

Retail Sales

	5 Minutes	10 Minutes	15 Minutes
Motor Vehicles	\$6,182,000	\$1,243,709,000	\$2,584,081,000
Furniture and Home Furnishings	\$3,033,000	\$64,818,000	\$166,029,000
Electrical and Appliances	\$57,055,000	\$76,931,000	\$239,863,000
Building Materials and Garden	--	\$162,642,000	\$522,232,000
Food and Beverage	\$19,587,000	\$658,691,000	\$1,295,667,000
Health and Personal Care	\$32,013,000	\$105,242,000	\$377,709,000
Gasoline Stations	\$32,373,000	\$224,698,000	\$870,159,000
Clothing and Accessories	\$2,718,000	\$339,843,000	\$676,893,000
Sporting Goods	\$5,958,000	\$53,638,000	\$258,195,000
General Merchandise	\$114,255,000	\$723,557,000	\$1,461,238,000
Miscellaneous	\$11,496,000	\$117,855,000	\$204,192,000
Nonstore Purchases	\$9,101,000	\$838,072,000	\$1,025,229,000
Food Services	\$32,498,000	\$615,871,000	\$1,334,080,000
Total Retail Sales	\$326,269,000	\$5,225,567,000	\$11,015,567,000

Consumer Expenditures

	5 Minutes	10 Minutes	15 Minutes
Total Consumer Expenditures	\$777,082,000	\$4,658,406,000	\$14,206,788,000

Crime Information Index (Range 0-200, US Average = 100)

	5 Minutes	10 Minutes	15 Minutes
Murder Index	75	80	97
Forcible Rape Index	62	87	97
Forcible Robbery Index	47	71	88
Aggravated Assault Index	59	74	92
Burglary Index	92	73	82
Larceny Index	110	104	111
Motor Vehicle Theft Index	84	87	102
EASI Total Crime Index	66	80	97

Comparable Sales of 2/2 Units at Shipley's Grant, Ellicott City, Howard County, MD

Stephen Ferrandi
Maryland Land Real Estate Advisors
Office Ph: (866) 910-5263
Ph: (866) 910-5263



Client Gallery

5947-2 Logans Way #40, Ellicott City, MD 21043

Active

Residential

\$450,000



MLS #: [MDHW285564](#)

MLS Area:

Legal Subd:

Subdiv/Neigh: SHIPLEYS GRANT

Schl District: Howard County Public

School System

Ownership: Condominium

Sale Type: Standard

Parking Type: Attached Garage, Off Street, On Street

Total Parking Spaces: 1

Heat: Forced Air / Natural Gas

Cooling: Ceiling Fan(s), Central A/C / Electric

Basement: No

Beds: 3

Baths: 2 / 1

AbvGrd Fin/Total SqFt: 2,280 / 2,280

Acres/Lot SF:

Structure Type: Interior Row/Townhouse

Style: Colonial

Levels/Stories: 3 **Year Built:** 2016

Tax Annual Amt / Year: \$6,504 / 2019

Condo/Coop: \$260.00 / Monthly

HOA Fee: \$113 / Monthly

Water Oriented/Name: No

Water/Sewer: Public/ Public Sewer

DOM: 6

Remarks: Beautiful colonial in the Shipleys Grant neighborhood of Ellicott City! Experience the good life as you enter into the main level highlighted by crown molding, a gas fireplace with dentil molding and mantle, and gorgeous hardwood floors. Let the kitchen inspire gourmet meals boasting a center island with breakfast bar, 42" soft close cabinetry, backsplash, stainless steel appliances, and granite counters. Relax and unwind in the primary bedroom suite featuring plush carpet, a spacious walk-in closet, double vanity, walk-in shower, and soaking tub. Enjoy the mornings and evenings on the private balcony that provides views of mature trees. Community pool, clubhouse, and outdoor fireplace complete this marvelous home! Major commuter routes include MD-100, I-95, MD-29, and MD-175.

Directions: I-695 S- At exit 16B-A , take ramp right for I-70 West toward Frederick. At Exit 87A, take ramp left for US-29 South toward Columbia/ Washington. At Exit 22, Bear left onto MD-100 E toward Glen Burnie/ MD-100 East. At Exit 3, take ramp right and follow signs for Snowden River Parkway. Turn right onto MD-108/ Waterloo Rd. Turn right onto Richards Valley Rd. Turn right onto Talbot Dr. Turn left onto Logans Way. Welcome Home!

5929-2 Logans Way #24, Ellicott City, MD 21043

Closed

Residential

\$432,500



MLS #: [MDHW270456](#)

MLS Area:

Legal Subd: SHIPLEYS GRANT PH. VI

Subdiv/Neigh: SHIPLEYS GRANT

Schl District: Howard County Public

School System

Ownership: Condominium

Sale Type: Standard

Parking Type: Attached Garage, Off Street, On Street

Total Parking Spaces: 1

Heat: Forced Air / Natural Gas

Cooling: Central A/C / Electric

Basement: No

Agreement of Sale Dt: 01/07/20

Close Date: 02/05/20

Beds: 3

Baths: 2 / 1

AbvGrd Fin/Total SqFt: 2,280 / 2,280

Acres/Lot SF:

Structure Type: End of Row/Townhouse

Style: Traditional

Levels/Stories: 2 **Year Built:** 2015

Tax Annual Amt / Year: \$6,504 / 2019

Condo/Coop: \$240.00 / Monthly

HOA Fee: \$113 / Monthly

Water Oriented/Name: No

Water/Sewer: Public/ Public Septic, Public Sewer

DOM: 113

Concessions:

Remarks: Beautiful Townhome/Condominium was built in 2015. It offers 3 bedrooms, 2.5 baths, private elevator & garage, hardwood floors, crown molding & free lifestyle. In addition, Shipleys Grant offers not only a comfortable home, but also the community including a walking trail, pool w/sundeck, outdoor fireplace & tree-lined streets to the Shoppes at Shipley's Grant.

Directions: GPS

5923-2 Logans Way, Ellicott City, MD 21043

Closed

Residential

📈 \$420,000



MLS #: [MDHW281052](#)

MLS Area:

Legal Subd: SHIPLEYS GRANT PH. VI

Subdiv/Neigh: SHIPLEYS GRANT

Schl District: Howard County Public School System

Ownership: Condominium

Sale Type: Standard

Parking Type: Attached Garage

Total Parking Spaces: 1

Heat: Forced Air / Natural Gas

Cooling: Central A/C / Electric

Basement: No

Agreement of Sale Dt: 08/11/20

Close Date: 09/25/20

Beds: 3

Baths: 2 / 1

AbvGrd Fin/Total SqFt: 2,280 / 2,280

Acres/Lot SF:

Structure Type: Interior

Row/Townhouse

Style: Colonial

Levels/Stories: 3 Year Built: 2015

Tax Annual Amt / Year: \$6,504 / 2019

Condo/Coop: \$260.00 / Monthly

HOA Fee: \$113 / Monthly

Water Oriented/Name: No

Water/Sewer: Public/ Public Sewer

DOM: 55

Concessions: \$8,000

Remarks: Amenity rich Shipley's Grant living at its best! Enjoy this like-new home with open concept floor plan, sun-filled interiors, stylish finishes, and trendy color palette! Enter to find an open foyer granting elevator access to the main level featuring a sprawling living room with large front windows off gourmet kitchen and spacious dining room! This beautiful kitchen boasts espresso shaker cabinets, granite counters, oversized island, stainless steel appliance suite, feature backsplash and lighting, and huge pantry! Ascend to the upper level to find three bedrooms including owner's suite with large walk-in closet and attached bath with separate tub and glass enclosed shower! Amazing community amenities including pool & clubhouse, playgrounds, open farm views, and a short stroll to quaint shopping district with Coldstone Creamery, Starbucks, and numerous dining hotspots! Welcome Home!

Directions: MD-108/ Waterloo Rd to Richards Valley Rd, Talbot Dr, Charles Crossing, and Logans Way

5905 Logans Way #1, Ellicott City, MD 21043

Closed

Residential

📈 \$410,000



MLS #: [MDHW271974](#)

MLS Area:

Legal Subd:

Subdiv/Neigh: SHIPLEYS GRANT

Schl District: Howard County Public School System

Ownership: Condominium

Sale Type: REO (Real Estate Owned)

Parking Type: Detached Garage

Total Parking Spaces: 1

Heat: Forced Air / Electric

Cooling: Central A/C / Electric

Basement: No

Agreement of Sale Dt: 12/05/19

Close Date: 01/13/20

Beds: 3

Baths: 2 / 1

AbvGrd Fin/Total SqFt: 1,750 / 1,750

Acres/Lot SF:

Structure Type: End of Row/Townhouse

Style: Colonial

Levels/Stories: 2 Year Built: 2015

Tax Annual Amt / Year: \$5,783 / 2019

Condo/Coop: \$240.00 / Monthly

HOA Fee: \$113 / Monthly

Water Oriented/Name: No

Water/Sewer: Public/ Public Sewer

DOM: 42

Concessions: \$12,300

Remarks: Brick front condo with 3 bedrooms, 2.5 bath town home with hardwood floors, stainless steel appliances, granite counters, large master suite, balcony, patio, and 1 car garage

Directions: MD 100 W/Ellicott City, (R) on Snowden River Pkwy, (R) on Waterloo, (R) on Richards Valley Rd., (R) on Talbot, (L) on Charles Crossing, (R) on Logans Way

5945-1 Logans Way #37, Ellicott City, MD 21043**Closed****Residential****\$400,000****MLS #:** [MDHW279992](#)**MLS Area:****Legal Subd:****Subdiv/Neigh:** SHIPLEYS GRANT**Schl District:** Howard County Public

School System

Ownership: Condominium**Sale Type:** Standard**Parking Type:** Detached Garage**Total Parking Spaces:** 1**Heat:** Forced Air / Natural Gas**Cooling:** Ceiling Fan(s), Central A/C / Electric**Basement:** No**Agreement of Sale Dt:** 06/19/20**Close Date:** 07/31/20**Beds:** 3**Baths:** 2 / 1**AbvGrd Fin/Total SqFt:** 1,750 / 1,750**Acres/Lot SF:****Structure Type:** Interior

Row/Townhouse

Style: Colonial**Levels/Stories:** 2 **Year Built:** 2016**Tax Annual Amt / Year:** \$5,783 / 2019**Condo/Coop:** \$260.00 / Monthly**HOA Fee:** \$113 / Monthly**Water Oriented/Name:** No**Water/Sewer:** Public/ Public Sewer**DOM:** 23**Concessions:** \$8,000

Remarks: Beautiful two floor townhome condominium located in the coveted Shipleys Grant community of Ellicott City. This pristine home boasts an open concept main level showcasing a soothing neutral color palette, crown molding and seamless hardwood floors. The gourmet kitchen features granite counters, stainless steel appliances, built in microwave, and planning station! A mud room, with a closet and attached powder room, opens to the patio that offers garage access. Spacious master bedroom includes a walk in closet, ceiling fan and luxury en suite bath highlighting a frameless shower with seating and a dual granite vanity. Two bedrooms, one with balcony access, a full bath and a gracious loft complete the upper level sleeping quarters. Fantastic community amenities include 2 in ground pools, club house, tennis court, outdoor fireplace, tot lots and more!

Directions: Take MD_32 East toward Annapolis. At exit 14A, take ramp right and follow signs for Broken Land Parkway North. Keep straight onto Broken Land Pkwy. Turn right onto Snowden River Pkwy. Turn left onto MD-108 / Waterloo Rd. Turn right onto Richards Valley Rd. Turn right onto Talbot Dr. Turn left onto Logans Way. Welcome Home!

5937-1 Logans Way #29, Ellicott City, MD 21043**Expired****Residential****\$399,999****MLS #:** [MDHW274402](#)**MLS Area:****Legal Subd:****Subdiv/Neigh:** SHIPLEYS GRANT**Schl District:** Howard County Public

School System

Ownership: Condominium**Sale Type:** Standard**Parking Type:** Detached Garage**Total Parking Spaces:** 1**Heat:** Forced Air / Other**Cooling:** Central A/C / Other**Basement:** No**Beds:** 3**Baths:** 2 / 1**AbvGrd Fin/Total SqFt:** 1,750 / 1,750**Acres/Lot SF:****Structure Type:** Interior Row/Townhouse**Style:** Colonial**Levels/Stories:** 2.5 **Year Built:** 2016**Tax Annual Amt / Year:** \$5,783 / 2020**Condo/Coop:** \$260.00 / Monthly**HOA Fee:** \$113 / Monthly**Water Oriented/Name:** No**Water/Sewer:** Public/ Private Sewer**DOM:** 139

Remarks: Beautiful 4 years young townhouse condominium in Ellicott City! Located within the sought after community of Shipley's Grant...this stunning 2.5 level townhome boasts 3 generous sized bedrooms, 2.5 bathrooms across an open layout. The main level offers a wide open living area with beautiful floors, an elegant kitchen complete with granite counters, stainless steel appliances, and maple cabinets with molding! just below the main level is your access to your private patio and garage access, as well as a mudroom with half bath! Upstairs you will find a seating area outside the 3 bedrooms. The second bedroom offers beautiful light and a private balcony! The master suite boasts lots of natural light, a large walk in closet, and a stunning master bath. This is a great home and won't last long!

Directions: Turn on Logans Way, 3957 #1

5925-1 Logans Way #19, Ellicott City, MD 21043

Closed

Residential

\$399,000



MLS #: [MDHW261562](#)

MLS Area:

Legal Subd: SHIPLEYS GRANT PH. VI

Subdiv/Neigh: SHIPLEYS GRANT

Schl District: Howard County Public School System

Ownership: Condominium

Sale Type: Standard

Parking Type: Detached Garage, Parking Lot

Total Parking Spaces: 2

Heat: Energy Star Heating System, Humidifier, Programmable Thermostat / Natural Gas

Cooling: Ceiling Fan(s), Central A/C, Programmable Thermostat / Electric

Basement: No

Agreement of Sale Dt: 05/06/19

Close Date: 06/28/19

Beds: 3

Baths: 2 / 1

AbvGrd Fin/Total SqFt: 1,750 / 1,750

Acres/Lot SF: .72 / 31,537

Structure Type: Interior

Row/Townhouse

Style: Colonial

Levels/Stories: 2 **Year Built:** 2015

Tax Annual Amt / Year: \$5,543 / 2018

Condo/Coop: \$240.00 / Monthly

HOA Fee: \$113 / Monthly

Water Oriented/Name: No

Water/Sewer: Public/ Public Sewer

DOM: 28

Concessions:

Remarks: Fabulous Location, BEAUTIFUL condo with 9' foot ceiling on each level in Shipleys Grant. Upgraded kitchen w/ granite countertops, backsplash, stainless steel appliances. High Efficiency Heating and Cooling with Humidifier for comfortable living. Preshelved Walk-In Closet, Incredibly maintained ! - better than new. Finished Garage with ample storage space & equipped with EV Charger. Well maintained Patio and much more! Check it out.

Directions:

5905 Logans Way #1, Ellicott City, MD 21043

Expired

Residential

\$385,000



MLS #: [MDHW249728](#)

MLS Area:

Legal Subd:

Subdiv/Neigh: SHIPLEYS GRANT

Schl District: Howard County Public School System

Ownership: Condominium

Sale Type: Short Sale

Parking Type: Detached Garage

Total Parking Spaces: 2

Heat: Heat Pump(s), Programmable Thermostat / Electric

Cooling: Ceiling Fan(s), Central A/C, Programmable Thermostat / Electric

Basement: No

Beds: 3

Baths: 2 / 1

AbvGrd Fin/Total SqFt: 1,750 / 1,750

Acres/Lot SF:

Structure Type: End of Row/Townhouse

Style: Colonial

Levels/Stories: 2 **Year Built:** 2015

Tax Annual Amt / Year: \$5,528 / 2017

Condo/Coop: \$325.00 / Monthly

HOA Fee:

Water Oriented/Name: No

Water/Sewer: Public/ Public Sewer

DOM: 4

Remarks: Live-happily-ever-after in this Brick-Front Condo. Beautiful granite kitchen w/ SS appl's, breakfast bar and open to Spacious Dining Room/Living Room, perfect for entertaining. Balcony w/ gorgeous views, Large Master Suite with plush carpet, Spacious Closet. Luxe Bath with all new fixtures. Relax in peace and quiet with sound-dampening insulation in 2nd floor ceiling!

Directions: Take MD-108E/Waterloo Rd, turn left onto Richards Valley Rd, turn right onto Talbot Drive, turn left onto Logans Way

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GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF UTILITIES 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - UTILITY: 1-800-257-7777
 - VERIZON: 1-800-743-0033
 - BUREAU OF UTILITIES: 410-313-4900
 - AT&T: 1-800-252-1133
 - B.G.&E. (CONSTRUCTION SERVICES): 410-637-8713
 - B.G.&E. (EMERGENCY): 410-684-0123
 - STATE HIGHWAY ADMINISTRATION: 410-531-5553
 - COLUMBIA PIPELINE CO.: 410-795-1390
4. SITE ANALYSIS:
 - AREA OF PARCEL: 1.79 AC.
 - PRESENT ZONING: R-A-15
 - USE OF STRUCTURE: STACKED CONDOMINIUM
 - TOTAL BUILDING COVERAGE: 16,161.90 SF (0.37 AC. OR 20.67% OF GROSS)
 - TOTAL ON-SITE PARKING LOT, ROAD, DRIVEWAYS, SIDEWALK COVERAGE: 21,605 SF (0.495 AC. OR 27.65% OF GROSS AREA)
 - AREA OF GREEN SPACE: 40,293 SF (0.925 AC. OR 51.67% OF GROSS AREA)
 - LIMIT OF DISTURBED AREA: 1.98 AC.
 - CUT: 5,000 CY
 - FILL: 0 CY
 - FLOOR SPACE PER BUILDING: BUILDINGS 1-3.
 - 1ST FLOOR = 1,229 S.F.
 - 2ND FLOOR = 1,229 S.F.
 - 3RD FLOOR = 1,229 S.F.
 - TOTAL BUILDING AREA: 3,687 S.F.

5. PROJECT BACKGROUND:
 - LOCATION: TAX MAP 43, GRID 4, PARCEL 644
 - ZONING: R-A-15
 - SUBDIVISION: OAKS AT WATERS EDGE, PHASE III (PLAT M.D.R. NO. 16228)
 - SECTION/AREA: PARCEL A
 - SITE AREA: 1.79 AC.
 - DPZ REFERENCES: SDP-05-078, F-04-044, EOP-18-059, ZB1028M, S-18-008, AA-18-018, F-20- (PLATE #), WP-19-057, SDP-05-131, SDP-74-124, SDP-79-170 WERE NOT BUILT AS APPROVED AND ARE EXCLUDED.

6. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
7. ANY DAMAGES TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, AND THE MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
9. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORDS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION OR CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
10. ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.

11. TRAFFIC CONTROL DEVICES:
 - A. THE R1-1 SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
 - B. THE TRAFFIC CONTROL DEVICES LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 - C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MMUTCD).
 - D. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL TUBE ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

12. ESTIMATES OF EARTHWORK SHALL BE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
13. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
14. COORDINATES AND ELEVATIONS ARE BASED ON MARYLAND COORDINATE SYSTEM - NAD83(1991) AS PROJECTED BY HOWARD COUNTY GEOTECHNICAL ENGINEER.
15. THE PROPERTY LINES SHOWN HEREON ARE BASED ON AN AERIAL PHOTOGRAMETRIC SURVEY PERFORMED BY POTOMAC AERIAL SURVEY, DATED MARCH 2018, WITH TWO FOOT CONTOUR INTERVAL BY ROBERT H. VOGEL ENGINEERING + TIMMONS GROUP, DATED MAY 2018, OFFSITE TOPOGRAPHY FROM HOWARD COUNTY GIS.

16. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
17. ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL P-2 UNLESS OTHERWISE NOTED.
18. ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED.
19. CONTRACTOR RESPONSIBLE FOR CONSTRUCTING ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.

20. WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
21. ALL ELEVATIONS ARE TO FLOWING/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
22. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
23. PUBLIC WATER AND SEWER ARE PROVIDED BY CONTRACT 645 W&S.
24. THIS PROJECT IS LOCATED IN THE PATAPUSCO WATERSHED.

25. STORMWATER MANAGEMENT FOR THIS PROJECT IS PROVIDED BY THREE MICRO-BIORETENTION FACILITIES (M-6). THESE FACILITIES WILL MANAGE THE 1-INCH RUNOFF. SWM FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED.
26. AN UNDERGROUND SWM FACILITY IS PROPOSED TO MANAGE THE 10 & 100-YR STORM EVENT. ALL OTHER STORM EVENTS WILL BE MANAGED BY THE EXISTING POND AS APPROVED IN SDP-05-078.
27. ALL EXISTING LIGHTS TO REMAIN TO SECTION 1.4 OF THE HOWARD COUNTY ZONING REGULATIONS. ALL LIGHTING SHALL BE DIRECTED DOWNWARD AND AWAY FROM THE NEIGHBORING PROPERTIES. LIGHT TRESPASS ONTO A PROPERTY IN THE R-MH, CE-CLU OR CAC ZONING DISTRICT SHALL BE LIMITED TO 0.5 FOOT CANDLES.

28. A TEST PIT STUDY WAS PERFORMED ON JULY 1, 2019, AT THE LOCATION OF SECTION 1.4 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
29. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
30. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.

31. THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.

32. TRAFFIC IMPACT STUDY PREPARED BY THE TRAFFIC GROUP DATED 6/27/18, APPROVED ON 10/15/2019.
33. ALL STORMWATER PIPE BEDDING IS TO BE CLASS 'C', AS REQUIRED BY AASHTO-180.
34. BUILDING TO HAVE INSIDE WATER METER SETTING.

35. THE FOREST CONSERVATION OBLIGATIONS ARE 0.3 ACRES OF AFFORESTATION TO BE PROVIDED BY OFFSITE MITIGATION AT THE REGAN PROPERTY (SDP-16-015).

36. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.

37. THERE ARE NO WETLAND OR FLOODPLAINS ON SITE. THERE ARE NO STEEP SLOPES (25% OR GREATER) ON SITE PER LETTER FROM ECO-SCIENCE PROFESSIONALS DATED 6/17/18.

38. THE SUBJECT PROPERTY IS ZONED R-A-15 PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN.

39. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

40. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND POLES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.

41. THERE ARE NO SPECIMEN OR CHAMPION TREES WITHIN THE LOD.

42. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPERS AGREEMENT WITH THIS PLAN. IN THE AMOUNT OF \$11,430.00 FOR THE REQUIRED 32 SHADE TREES, 10 EVERGREEN TREES, AND 11 SHRUBS.

43. FINANCIAL SURETY FOR THE REQUIRED STREET TREE PLANTING FOR THIS PROJECT HAS BEEN POSTED AS PART OF THE DEVELOPERS AGREEMENT WITH THIS PLAN. IN THE AMOUNT OF \$2,700.00 FOR THE REQUIRED 9 SHADE TREES. THE PUBLIC SURETY WILL BE INCLUDED IN THE DED'S COST ESTIMATE.

44. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.

45. ALL PROPOSED BUILDINGS WILL HAVE AN INSIDE METER SETTING. THE BUILDINGS WILL ALSO HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.

46. A COMMUNITY MEETING WAS HELD FOR THIS PROJECT AT BLUE STREAM BROMPTON HOUSE CLUBHOUSE, 7891 MANDRAKE COURT, ELKBRIDGE, MD 21075 AT 8:00PM ON JUNE 29, 2018.

47. THIS PROJECT IS NOT LOCATED ON A SCENIC ROAD. PORT CAPITAL ROAD IS CLASSIFIED AS A LOCAL PUBLIC ROAD.

48. THE PROPOSED INTERIOR STREET IS CLASSIFIED AS A PRIVATE 26' ROAD AND 20' ALLEY.

49. THERE ARE NO HISTORIC STRUCTURES ON THIS PROPERTY. THIS PROPERTY IS NOT LOCATED WITHIN A HISTORIC DISTRICT.

50. THERE ARE NO CEMETERIES LOCATED ON THIS PROPERTY.

51. THIS PROJECT IS LOCATED WITHIN THE METROPOLITAN DISTRICT.

52. REF. AA-18-018, APPROVED ON APRIL 8TH, 2019; ADMINISTRATIVE ADJUSTMENT SECTION 112.0.D.4.c.(2)(g) TO REDUCE THE REQUIRED 50' APARTMENT DWELLING SETBACK TO 40.7' FROM CE-CLU-CR, SECTION 112.0.D.4.c.(2)(g). REDUCE THE 50' APARTMENT DWELLING SETBACK FROM THE R-MH TO 40' FOR BUILDING #2, AND SECTION 112.0.D.4.c.(2)(g) TO REDUCE THE MINIMUM DISTANCE BETWEEN MULTI-FAMILY BUILDING (REAR TO REAR) FROM 60' TO 56' BETWEEN BUILDINGS #1 AND #3.

53. REFERENCE WP-19-057, APPROVED 01/17/2019, TO SECTION 16.144.(d)(2) SUBMISSION OF SKETCH PLAN, APPROVAL SUBJECT TO THE FOLLOWING CONDITIONS:

1. THE DEADLINE FOR RESUBMISSION OF S-18-008 IS EXTENDED 120 DAYS AS REQUESTED. THE NEW DEADLINE IS APRIL 16, 2019. PROVIDE A COPY OF ACTION LETTER ESTABLISHING THE DEADLINE WHEN RE-SUBMITTING THE SKETCH PLAN.

2. IN THE EVENT THE ADMINISTRATIVE ADJUSTMENT (AA-18-018) TO THE STRUCTURE SETBACKS IS DENIED, THE APPLICANT WILL HAVE UNTIL APRIL 16, 2019 TO RE-SUBMIT PLANS WITH AN ALTERNATIVE DESIGN THAT MEETS THE REGULATIONS. IF THE PLANS ARE NOT RESUBMITTED BY APRIL 16, 2019, S-18-008, POTTER'S PLACE WILL BE VOID.

3. ADD TO THE GENERAL NOTES ON SHEET 1 OF S-18-008, THE FILE NUMBER WP-19-057, DATE OF THE DECISION, AND THE CONDITIONS OF APPROVAL.

4. ADD TO THE GENERAL NOTES, CASE NUMBER AA-18-018, THE DECISION DATE, AND CONDITIONS OF APPROVAL.

54. A PRIVATE ROAD STREET NAME SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNER'S EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-2430 FOR DETAILS AND COST ESTIMATES.

55. A PVC CONDUIT NEEDS TO BE INSTALLED 24" BELOW THE SURFACE FOR THE EXISTING STREET LIGHT CABLE. THE CONDUIT SHALL BE A MINIMUM 3" (INSIDE DIMENSION) WITH PULL STRING AND MARKED AT BOTH ENDS FOR BGE TO LOCATE.

- BEFORE CONSTRUCTION OF NEW ROAD BEDS, CONTACT HOWARD COUNTY TRAFFIC AT 410-313-2430 TO COORDINATE DISCONNECTING THE POWER TO THE EXISTING STREET LIGHTS IN THE AREA.

56. DEVELOPER SHOULD CONTACT HOWARD COUNTY TRAFFIC AT 410-313-2430 PRIOR TO BEGINNING CONSTRUCTION TO COORDINATE EXISTING LIGHT RELOCATION.

57. DEVELOPER SHOULD CONTACT HOWARD COUNTY TRAFFIC AT 410-313-2430 PRIOR TO BEGINNING CONSTRUCTION TO COORDINATE EXISTING LIGHT RELOCATION.

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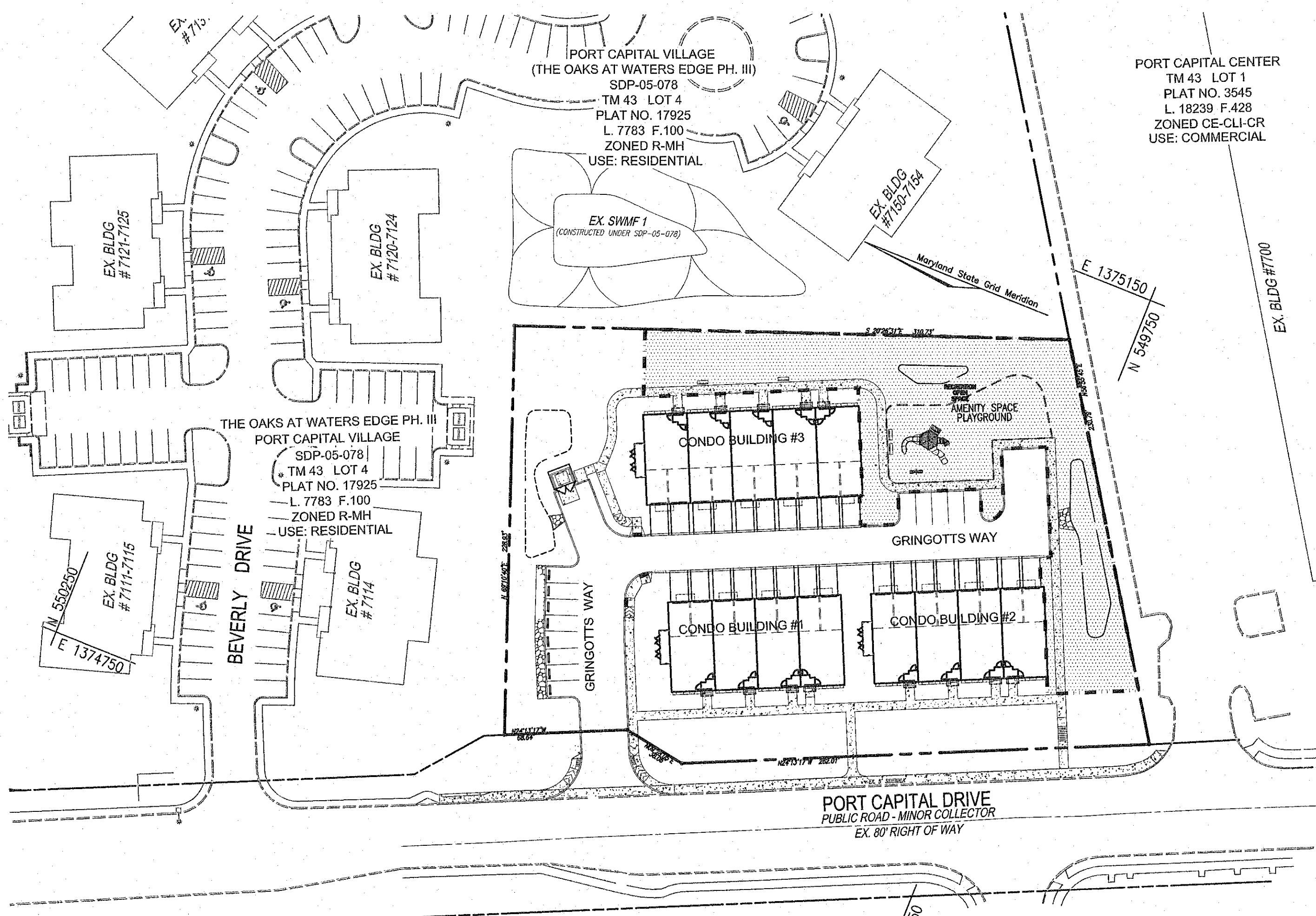
90. DEVELOPER SHOULD CONTACT HOWARD COUNTY TRAFFIC AT 410-313-2430 PRIOR TO BEGINNING CONSTRUCTION TO COORDINATE EXISTING LIGHT RELOCATION.

SITE DEVELOPMENT PLAN

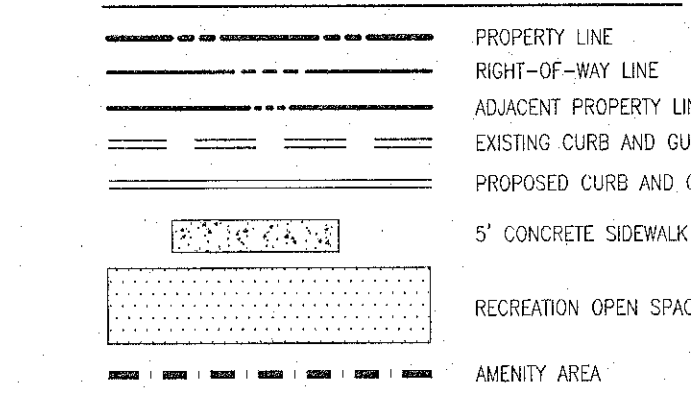
"POTTER'S PLACE"

THE OAKS AT WATERS EDGE PHASE III

PARCEL 'A'



LEGEND



PARKING TABULATION:

TOTAL NUMBER OF DWELLING UNITS PROPOSED : 26 UNITS	
PARKING SPACES REQUIRED: 26 UNITS x 2 SPACES PER UNIT = 52 SPACES	
PARKING SPACES PROVIDED:	
MULTI-FAMILY (1 GARAGE/1 DRIVEWAY)	= 26 SPACES (FOR 26 UNITS)
1 SPACE IN GARAGE	= 26 SPACES (FOR 26 UNITS)
1 SPACES ON DRIVEWAY	= 52 SPACES
TOTAL	= 52 SPACES
VISITORS PARKING SPACES REQUIRED:	
0.3 SPACES X 26 UNITS	= 8 SPACES REQUIRED
VISITORS PARKING SPACES PROVIDED = 13 SPACES	
* TWO STACKED TOWNHOUSES ARE CONSIDERED MULTIFAMILY STRUCTURES.	

ADDRESS CHART

UNIT/BUILDING	STREET ADDRESS
BUILDING #1	
1	7738-A PORT CAPITAL DR.
2	7738-B PORT CAPITAL DR.
3	7736-A PORT CAPITAL DR.
4	7736-B PORT CAPITAL DR.
5	7734-A PORT CAPITAL DR.
6	7734-B PORT CAPITAL DR.
7	7732-A PORT CAPITAL DR.
8	7732-B PORT CAPITAL DR.
SPRINKLER ROOM 7730 PORT CAPITAL DR.	
BUILDING #2	
9	7728-A PORT CAPITAL DR.
10	7728-B PORT CAPITAL DR.
11	7726-A PORT CAPITAL DR.
12	7726-B PORT CAPITAL DR.
13	7724-A PORT CAPITAL DR.
14	7724-B PORT CAPITAL DR.
15	7722-A PORT CAPITAL DR.
16	7722-B PORT CAPITAL DR.
SPRINKLER ROOM 7720 PORT CAPITAL DR.	
BUILDING #3	
17	7719 GRINGOTT'S WAY
18	7718-A GRINGOTT'S WAY
19	7718-B GRINGOTT'S WAY
20	7716-A GRINGOTT'S WAY
21	7716-B GRINGOTT'S WAY
22	7714-A GRINGOTT'S WAY
23	7714-B GRINGOTT'S WAY
24	7712-A GRINGOTT'S WAY
25	7712-B GRINGOTT'S WAY
26	7710-B GRINGOTT'S WAY

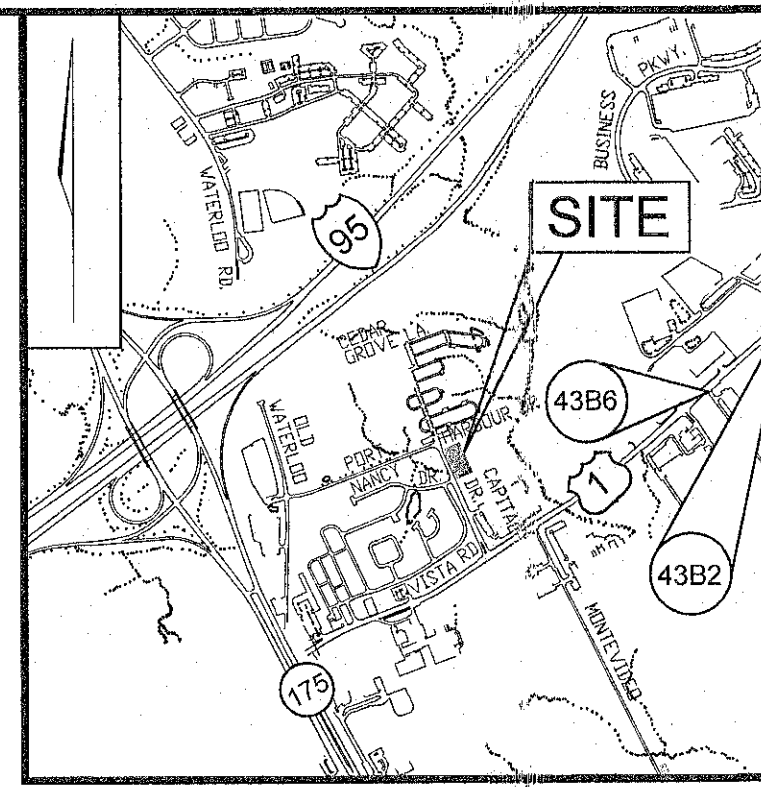
ADDRESS CHART

PARCEL #	BUILDING #	STREET ADDRESS
644	BUILDINGS 1-3	7720 PORT CAPITAL DR., ELKBRIDGE, MD 21075
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #
OAKS AT WATERS EDGE PHASE III	3	3603-54
PLAT # OR L/F	BLOCK NO.	ZONE
PLAT 16228	4	R-A-15
	TAX MAP	ELECT. DIST.
	43	1ST
	CENSUS TR.	601203
SEWER CODE:		

ADDRESS CHART

PARCEL #	BUILDING #	STREET ADDRESS
644	BUILDINGS 1-3	7720 PORT CAPITAL DR., ELKBRIDGE, MD 21075
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #
OAKS AT WATERS EDGE PHASE III	3	3603-54
PLAT # OR L/F	BLOCK NO.	ZONE
PLAT 16228	4	R-A-15
	TAX MAP	ELECT. DIST.
	43	1ST
	CENSUS TR.	601203
SEWER CODE:		

BENCHMARKS			
NO.	NORTHING	EASTING	ELEVATION
4382	551,654.993	1,378,176.951	209.601'
4386	550,601.597	1,376,866.072	210.559'



VICINITY MAP

SCALE: 1"=2000'

SITE DATA:

LOCATION: ELKBRIDGE, MD.; TAX MAP 43, BLOCK 4, PARCEL 644
1ST ELECTION DISTRICT
PRESENT ZONING: R-A-15
PROJECT AREA: 1.79 AC.
DPZ REFERENCES: L-4393/F-343
USE OF STRUCTURE: RESIDENTIAL, MULTI-FAMILY APARTMENT DWELLINGS
TOTAL BUILDING COVERAGE: 16,161.90 SF (0.37 AC. OR 20.67% OF GROSS)
PAVED PARKING LOT/ROAD/DRIVEWAYS/SIDEWALK ON SITE: 21,605 SF (0.495 AC. OR 27.65% OF GROSS AREA)
AREA OF GREENSPACE: 40,293 SF (0.925 AC. OR 51.67% OF GROSS AREA)
LIMIT OF DISTURBED AREA: 1.98 AC.
WETLANDS WITHIN LOD: 0.00 AC.
WETLAND BUFFERS WITHIN LOD: 0.00 AC.
STREAMS AND THEIR BUFFERS WITHIN LOD: 0.00 AC.
AREA OF ON-SITE 100 YEAR FLOODPLAIN WITHIN LOD: 0.00 AC.
AREA OF EXISTING FOREST WITHIN LOD: 0.00 AC.
AREA OF ON-SITE NRCS/WDE/HSCD STEEP SLOPES (20% OR GREATER): 0.00 AC
AREA OF ON-SITE STEEP SLOPES (25% OR GREATER): 0.00 AC
AREA OF HOWARD SOILS: 0.00 AC.
AREA MANAGED BY ESDV (THIS PLAN): 1.79 AC.
IMPERVIOUS AREA (MANAGED BY ESDV): 0.93 AC.
GREEN AREA (MANAGED BY ESDV): 0.90 AC.

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 11
EXISTING CONDITION AND EROSION AND SEDIMENT CONTROL PLAN	2 OF 11
SITE LAYOUT PLAN	3 OF 11
SITE DETAILS	4 OF 11
SITE GRADING, FINAL EROSION AND SEDIMENT CONTROL PLAN	5 OF 11
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	6 OF 11
STORM DRAIN DRAINAGE AREA MAP	7 OF 11
UTILITY PROFILES	8 OF 11
STORMWATER MANAGEMENT DETAILS	9 OF 11
STORMWATER MANAGEMENT DRAINAGE AREA MAP AND DETAILS	10 OF 11
LANDSCAPE PLAN AND DETAILS	11 OF 11

OWNER/DEVELOPER

PORT CAPITAL CENTER OF MARYLAND LLC
P.O. BOX 416
ELLCOTT CITY, MD 21041
(410) 465-2020

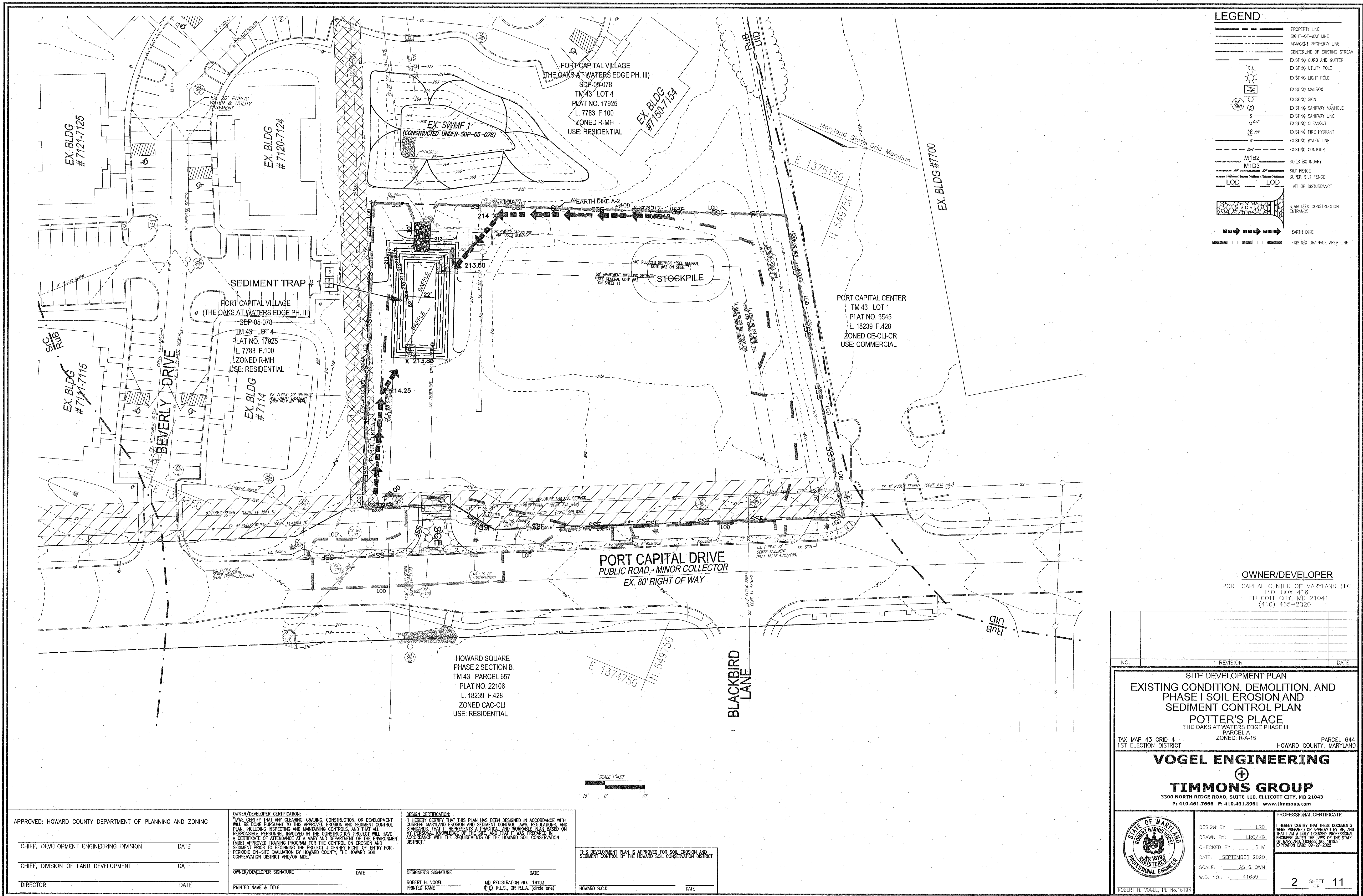
SITE DEVELOPMENT PLAN

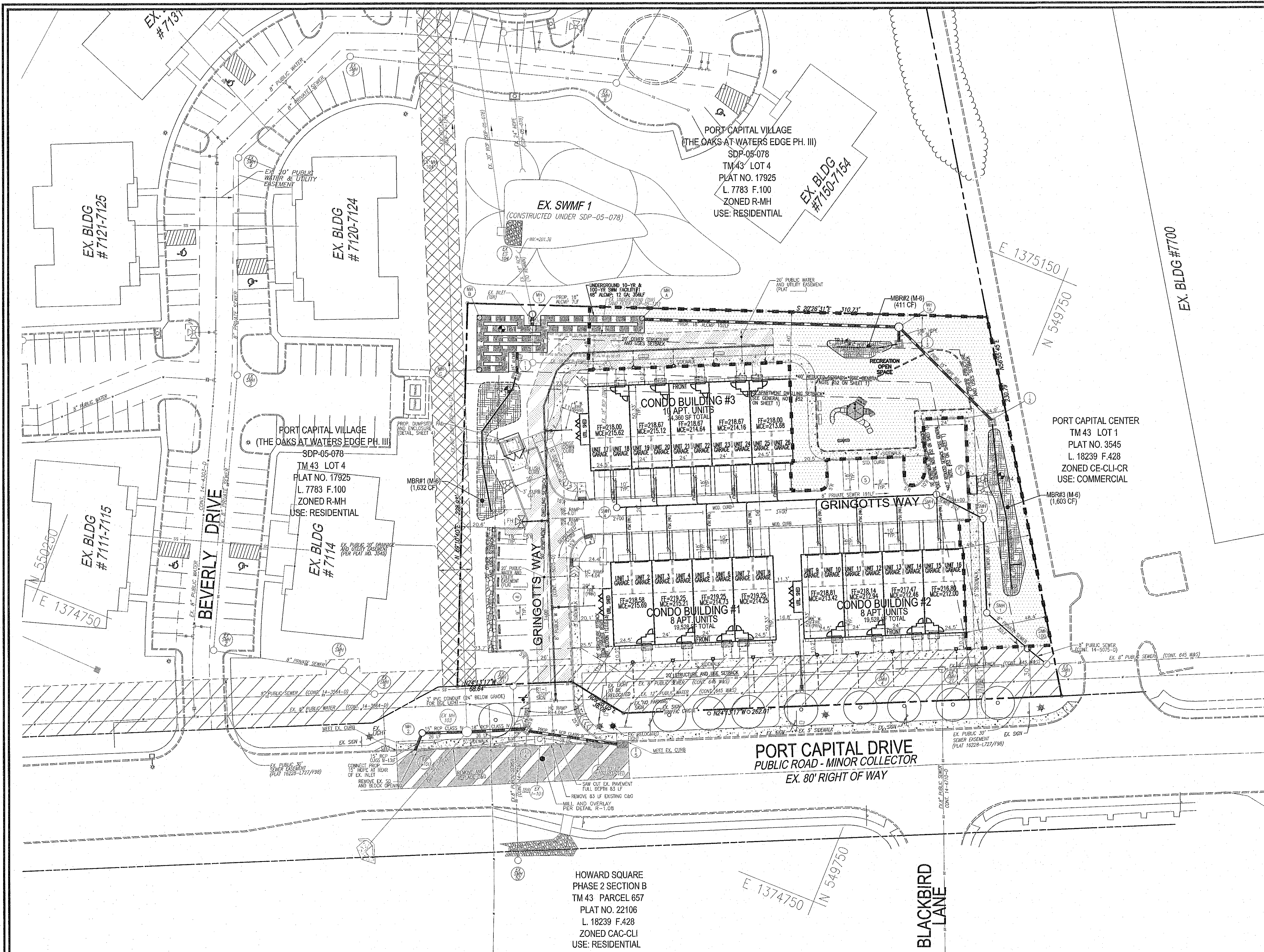
COVER SHEET

POTTER'S PLACE

THE OAKS AT WATERS EDGE PHASE III
PARCEL A

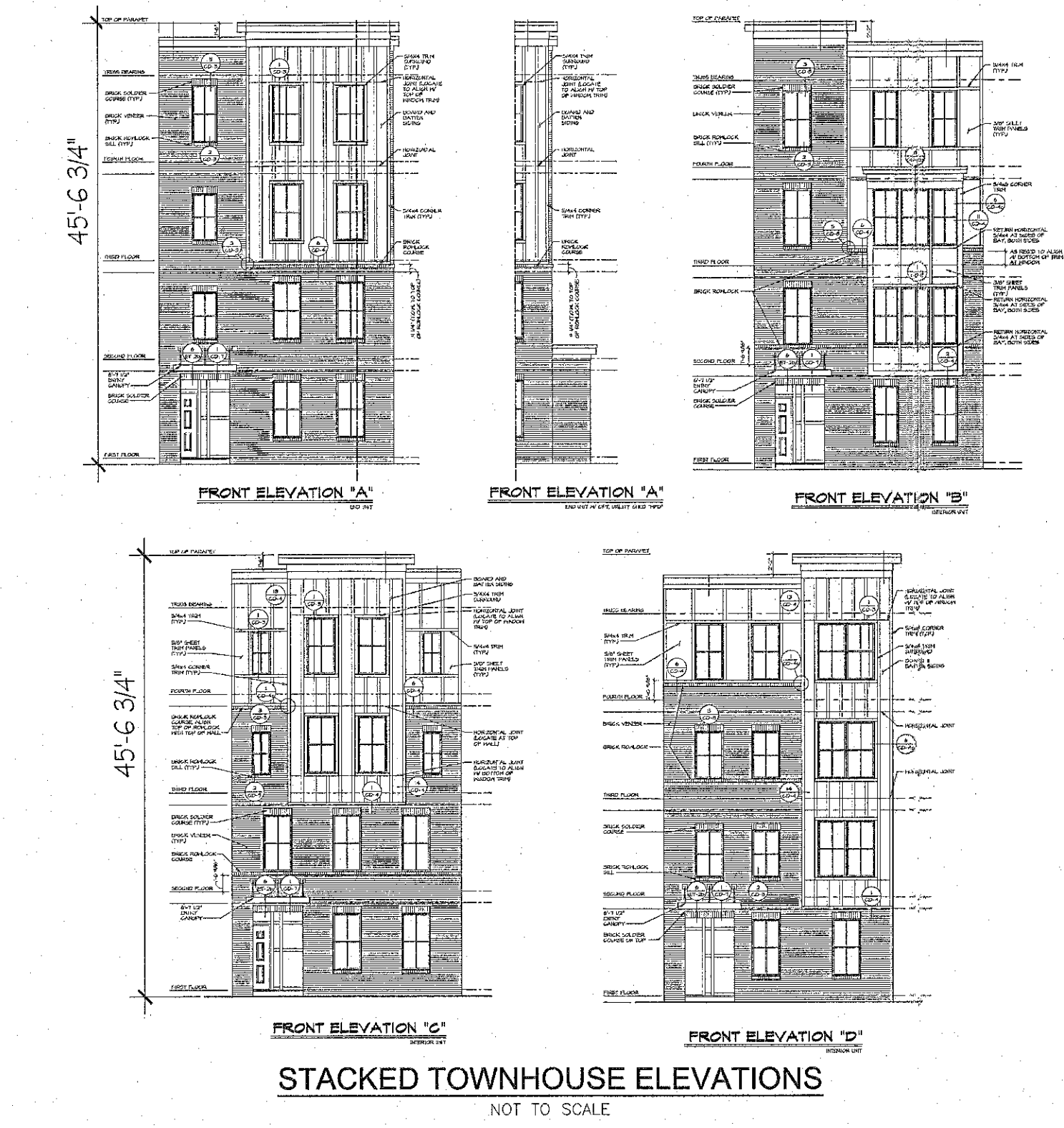
ZONED: R-A-15





LEGEND

	PROPERTY LINE		PROPOSED STORM DRAIN
	RIGHT-OF-WAY LINE		PROPOSED STORM DRAIN INLET
	ADJACENT PROPERTY LINE		PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER		5' CONCRETE SIDEWALK & CONCRETE DRIVEWAY
	EXISTING UTILITY POLE		MICRO-BIOREMEDIATION AREA (M-6)
	EXISTING LIGHT POLE		RECREATION AREA
	EXISTING MAILBOX		MILL AND OVERLAY
	EXISTING SIGN		20' PUBLIC WATER AND UTILITY EASEMENT
	EXISTING SANITARY MANHOLE		
	EXISTING SANITARY LINE		
	EXISTING CLEANOUT		
	EXISTING FIRE HYDRANT		
	EXISTING WATER LINE		
	EX. PUBLIC 30' SEWER EASEMENT		
	EX. PUBLIC 20' DRAINAGE AND UTILITY EASEMENT		
	PLAT # 3545		



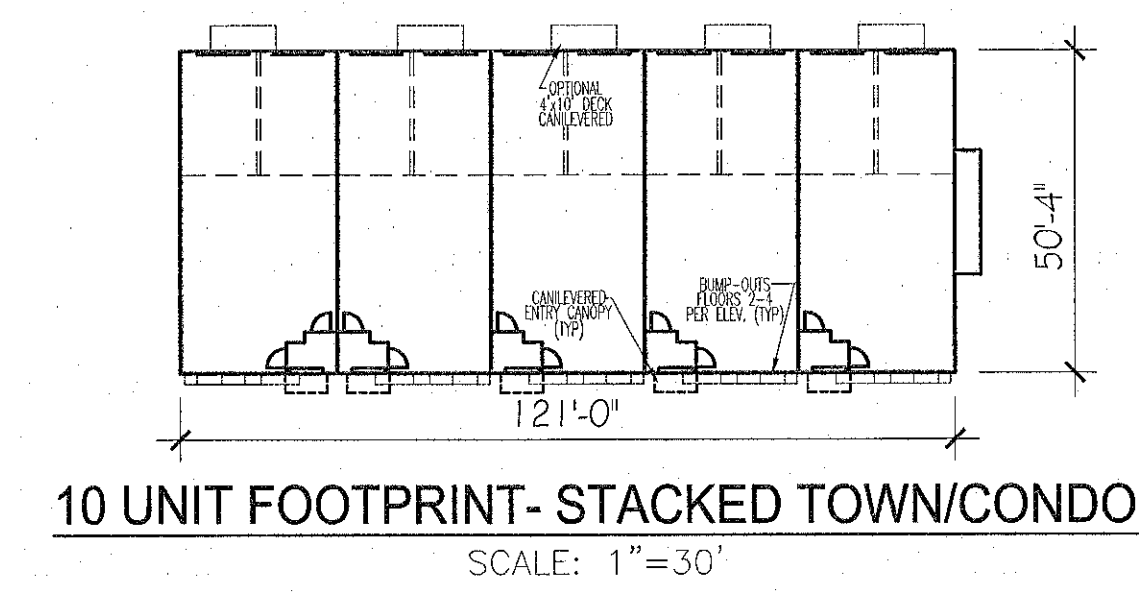
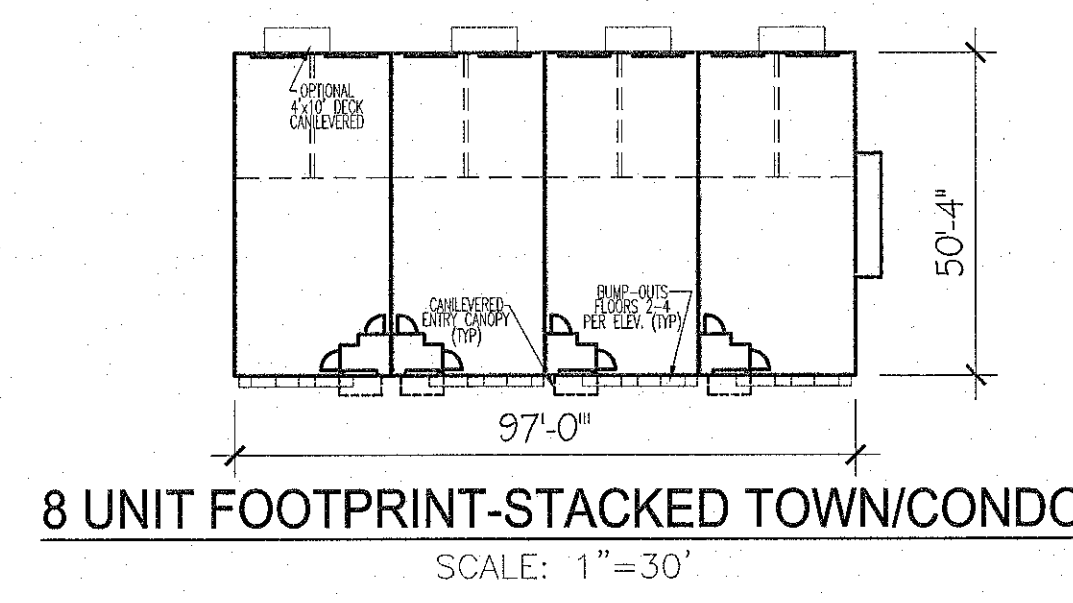
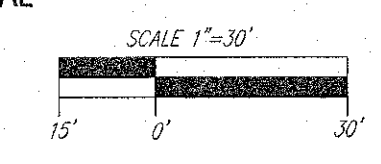
OWNER/DEVELOPER
 PORT CAPITAL CENTER OF MARYLAND LLC
 P.O. BOX 416
 ELLICOTT CITY, MD 21041
 (410) 465-2020

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

NOTE:
 1. * SEE NOTE #52 ON SHEET 1.

PLAN VIEW
 SCALE: 1"=30'



SITE DEVELOPMENT PLAN
LAYOUT PLAN

POTTER'S PLACE
 THE OAKS AT WATERS EDGE PHASE III
 PARCEL A
 ZONED: R-A-15

TAX MAP 43 GRID 4
 1ST ELECTION DISTRICT

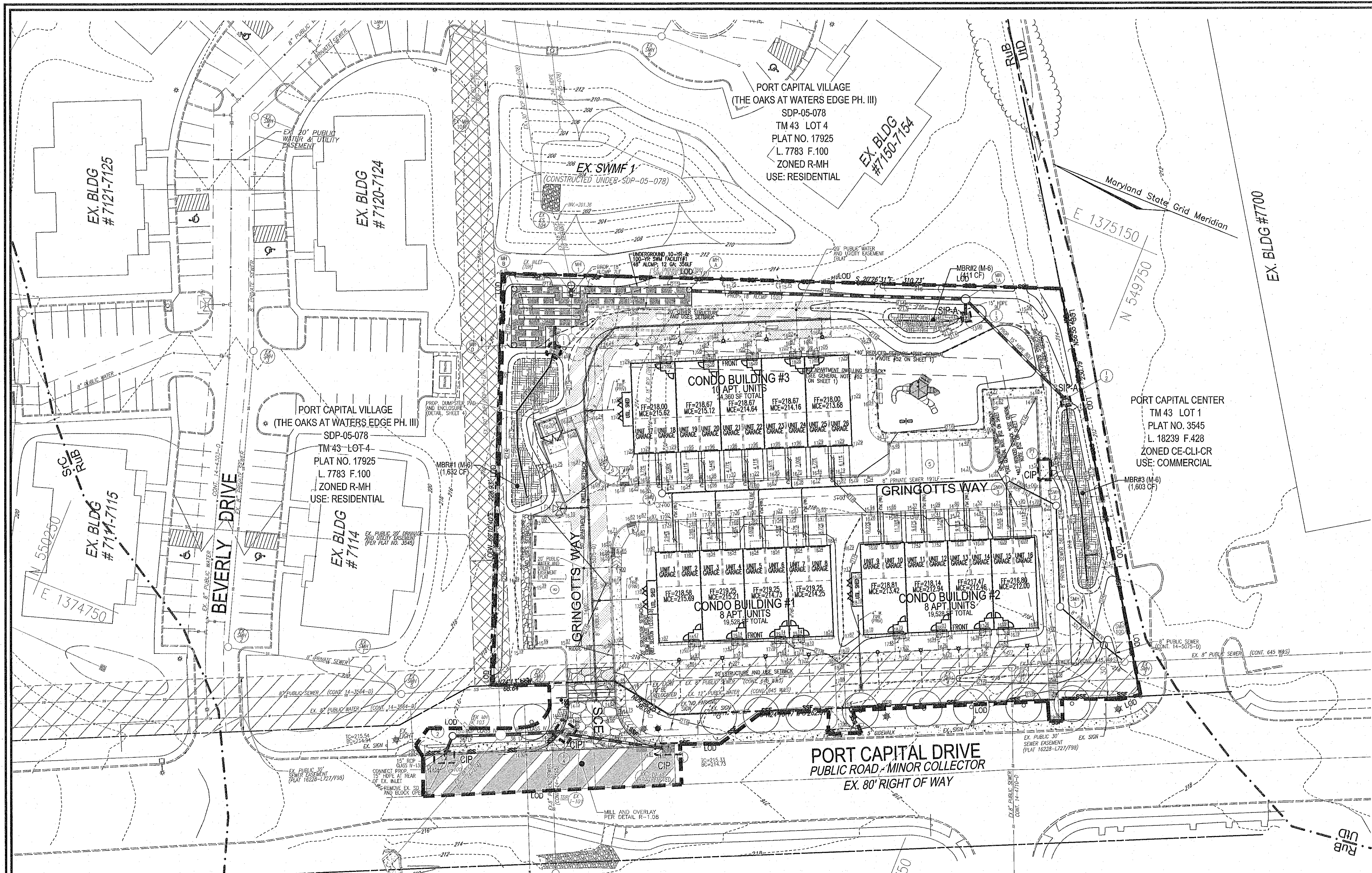
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 +
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022.

DESIGN BY: LRC
 DRAWN BY: LRC/KG
 CHECKED BY: RHV
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.O. NO.: 41639

3 SHEET OF 11



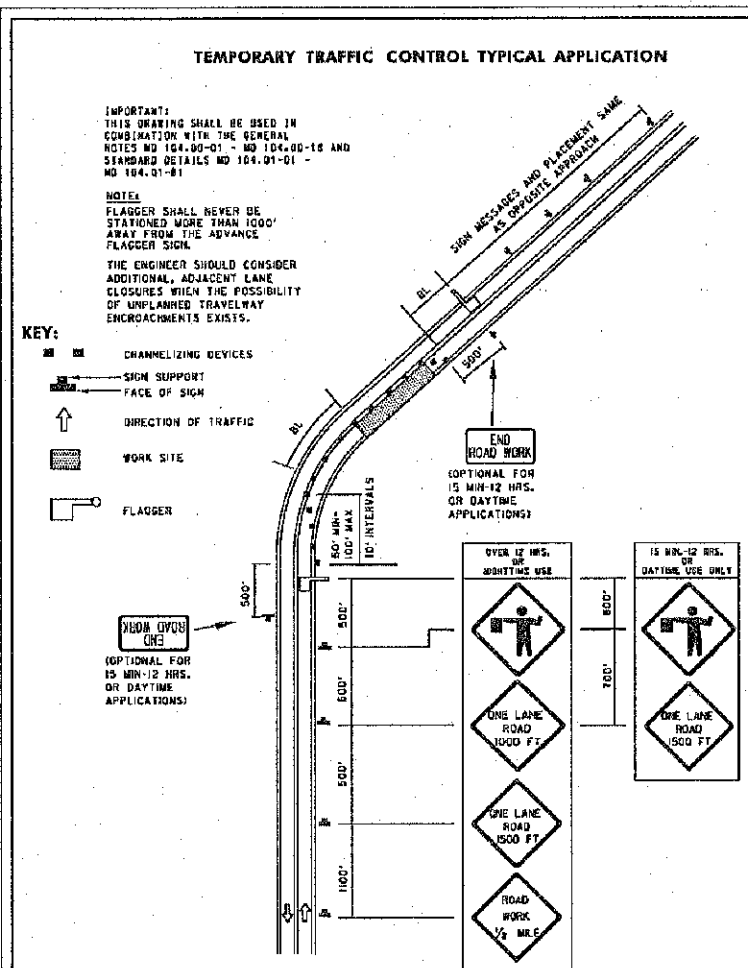
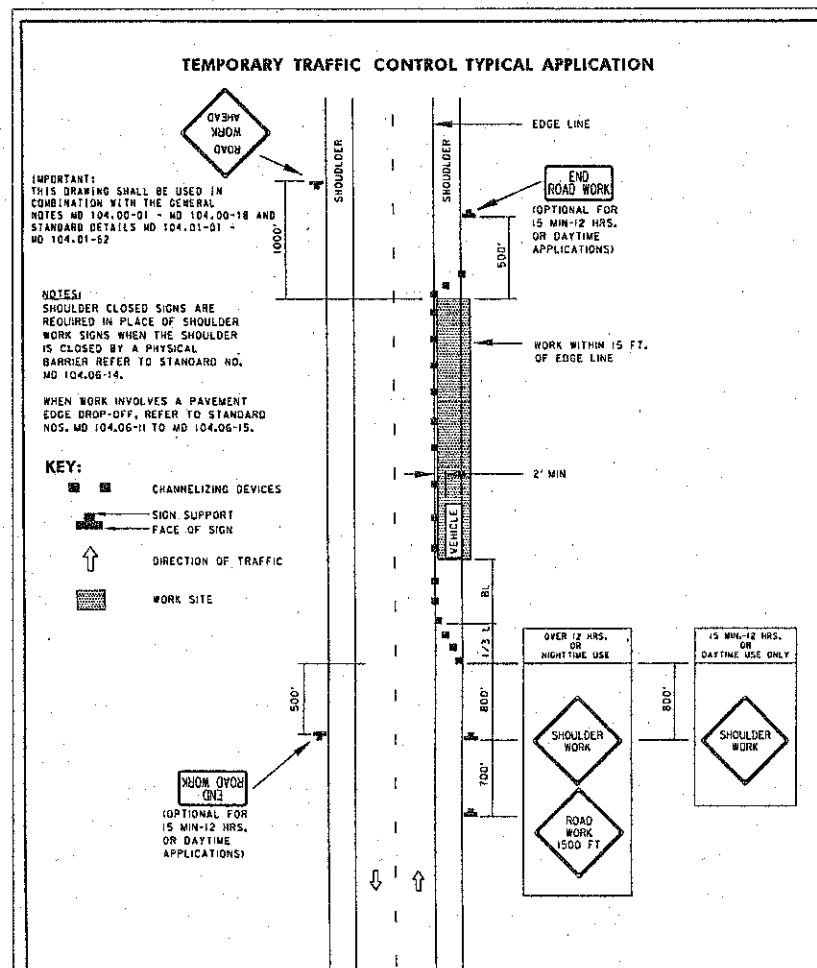
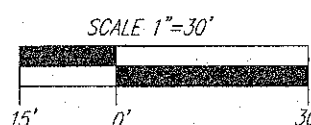
LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPOSED CURB AND GUTTER
	EXISTING CONTOUR
	PROPOSED CONTOUR
	M1B2, M1D3
	S1E, S1F, S1G
	LOD
	STABILIZED CONSTRUCTION ENTRANCE
	EARTH DIKE
	TEMPORARY DRAINAGE DIVIDE
	STANDARD INLET PROTECTION
	AT GRADE INLET PROTECTION
	CURB INLET PROTECTION
	TEMPORARY INLET PROTECTION
	5' CONCRETE SIDEWALK & CONCRETE DRIVEWAY
	MICRO-BIORETENTION AREA (M-6)
	MILL AND OVERLAY
	EX. PUBLIC 30' SEWER EASEMENT PLAT # 16228- L727 F.98
	20' PUBLIC WATER AND UTILITY EASEMENT PLAT # 16228- L727 F.98
	EX. PUBLIC 20' DRAINAGE AND UTILITY EASEMENT PLAT # 3545

NOTE:
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

SITE PLAN

SCALE: 1"=30'



OWNER/DEVELOPER

PORT CAPITAL CENTER OF MARYLAND LLC
P.O. BOX 418
ELLICOTT CITY, MD 21041
(410) 465-2020

SITE DEVELOPMENT PLAN

GRADING, AND PHASE II & III SEDIMENT AND EROSION CONTROL PLAN

POTTER'S PLACE

THE OAKS AT WATERS EDGE PHASE III

PARCEL A

ZONED R-A-15

TAX MAP 43 GRID 4
1ST ELECTION DISTRICT

PARCEL 644
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: LRC
DRAWN BY: LRC/KG
CHECKED BY: RHV
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 41639

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE JOBS OF THE STATE OF MARYLAND, EXPIRATION DATE 09-27-2022.

5 SHEET OF 11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DIRECTOR DATE

OWNER/DEVELOPER CERTIFICATION:

I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

OWNER/DEVELOPER SIGNATURE

DATE

PRINTED NAME & TITLE

DESIGN CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE

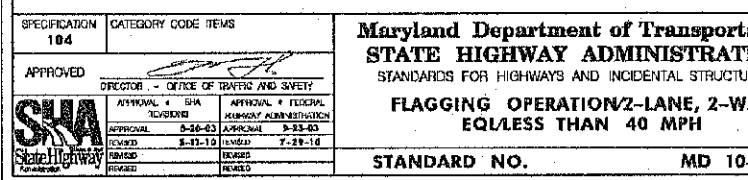
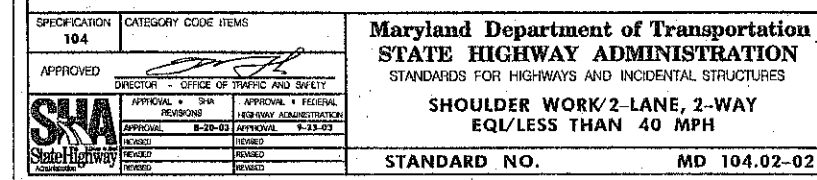
DATE

PRINTED NAME

MD REGISTRATION NO. 16193
P.E. R.L.S., OR R.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE



BLUE STREAM, LLC
TM 43 PARCEL 647
L.4389 F.138
ZONED R-MH

EX. BLDG
#7121-7125

EX. BLDG
#7120-7124

PORT CAPITAL VILLAGE
* (THE OAKS AT WATERS EDGE PH. III)
SDP-05-078
TM 43 LOT 4
PLAT NO. 17925
L. 7783 F.100
ZONED R-MH
USE: RESIDENTIAL

EX. BLDG
#7114-7115

EX. BLDG
#7114

PORT CAPITAL VILLAGE
(THE OAKS AT WATERS EDGE PH. III)
SDP-05-078
TM 43 LOT 4
PLAT NO. 17925
L. 7783 F.100
ZONED R-MH
USE: RESIDENTIAL

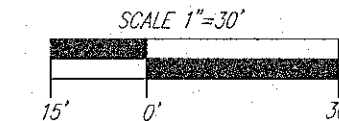
EX. BLDG
#7150-7154

PORT CAPITAL CENTER
TM 43 LOT 1
PLAT NO. 3545
L. 18239 F.428
ZONED CE-CL-CR
USE: COMMERCIAL

HOWARD SQUARE
PHASE 2 SECTION B
TM 43 PARCEL 657
PLAT NO. 22106
L. 18239 F.428
ZONED CAC-CL-I
USE: RESIDENTIAL

STORM DRAIN DRAINAGE AREA MAP AND MAINTENANCE OF TRAFFIC PLAN

SCALE: 1"=30'



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND CUTTER
- PROPOSED CURB AND CUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING GLENDOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- SOILS BOUNDARY
- EXISTING TREELINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- 5' CONCRETE SIDEWALK
- PROPOSED STREET LIGHT
- TEST PITS
- EX. PUBLIC 30" SEWER EASEMENT PLAT# 16228-L727 F.98
- 20" PUBLIC WATER AND UTILITY EASEMENT PLAT# 3545
- EX. PUBLIC 20" DRAINAGE AND UTILITY EASEMENT PLAT# 3545
- DRAINAGE DITCH
- MICRO-BIORETENTION AREA (M-B)

STORMWATER MANAGEMENT
FACILITIES PRIVATELY
OWNED AND MAINTAINED

OWNER/DEVELOPER
PORT CAPITAL CENTER OF MARYLAND LLC
P.O. BOX 416
ELLICOTT CITY, MD 21041
(410) 465-2020

SD Drainage Area Chart

DRAINAGE AREA	AREA AC	C	IMP %
DA-1 (I-1)	0.56	0.56	56%
DA-2 (I-3)	0.28	0.41	33%
DA-3 (PT-1)	0.45	0.70	76%
DA-4 (I-2)	0.32	0.38	28%
DA-5 (I-5)	0.24	0.55	53%
DA-6 (I-4)	0.20	0.64	67%
DA-7 (EX. I-100)	0.25	0.69	75%

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DIRECTOR DATE

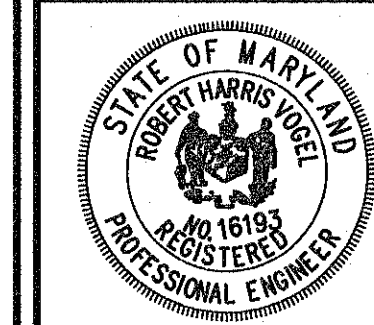
SITE DEVELOPMENT PLAN STORM DRAIN DRAINAGE AREA MAP AND MAINTENANCE OF TRAFFIC PLAN

POTTER'S PLACE
THE OAKS AT WATERS EDGE PHASE III
PARCEL A-15
ZONED R-A-15
TAX MAP 43 GRID 4
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PARCEL 644

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

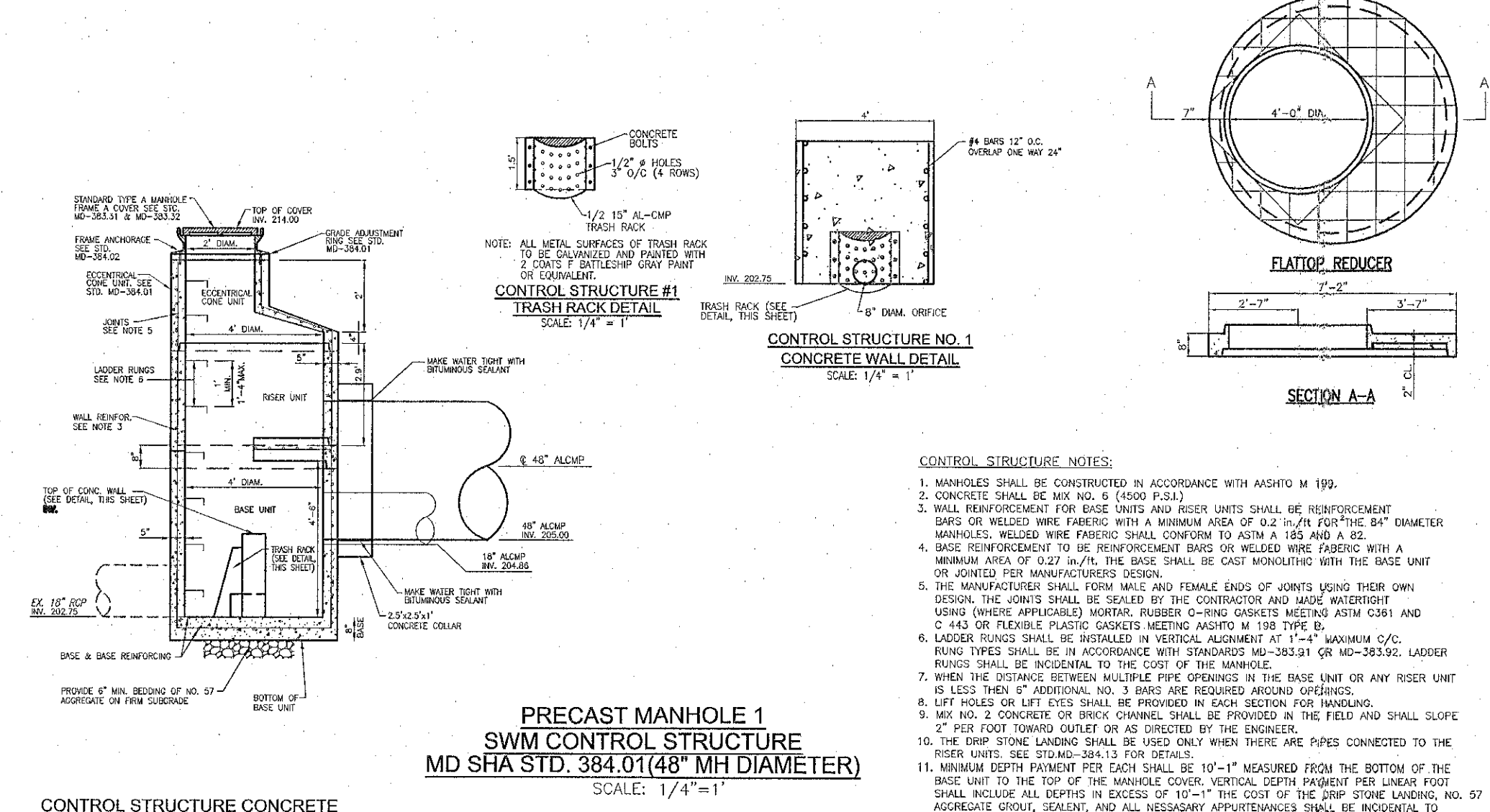
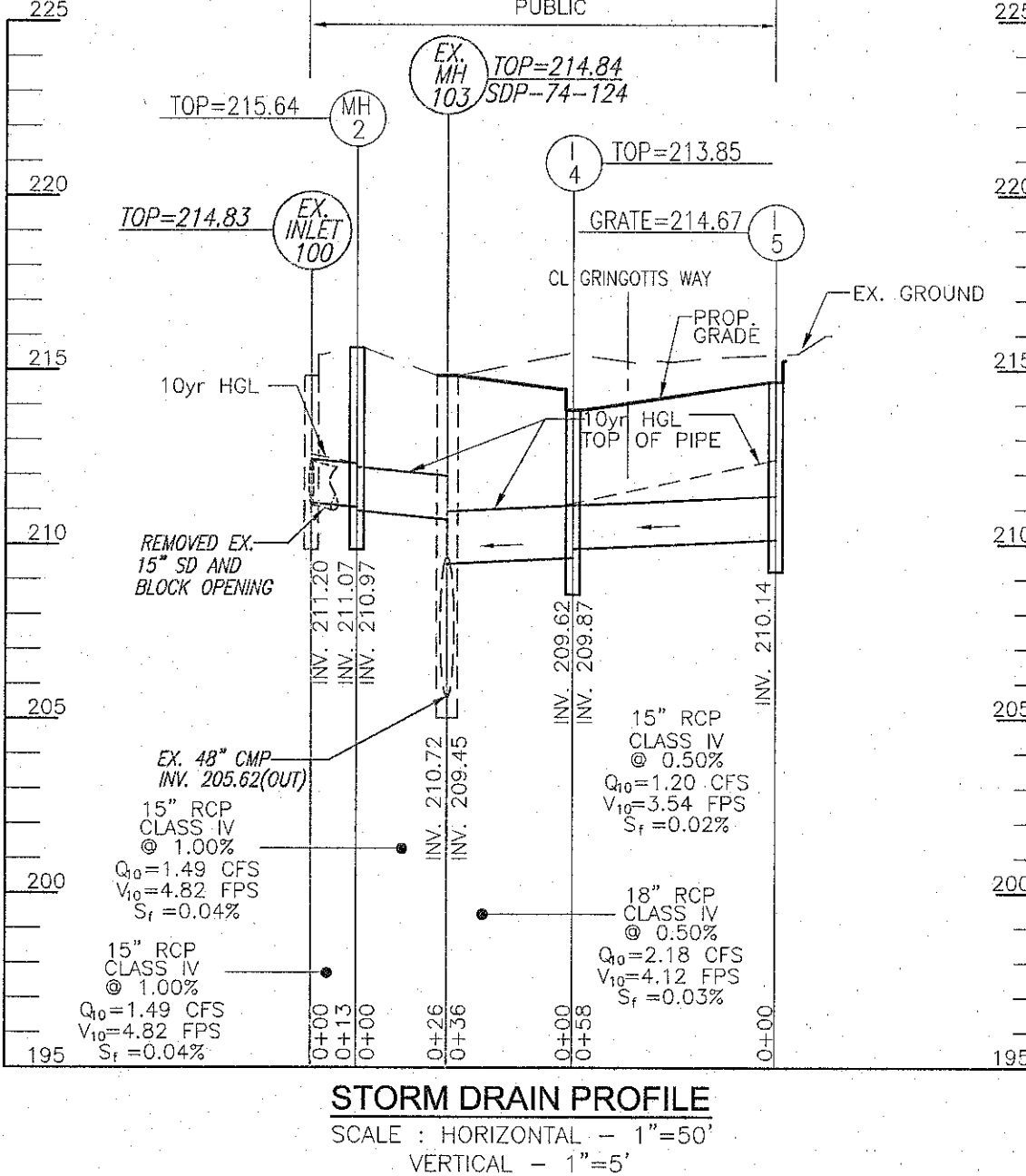
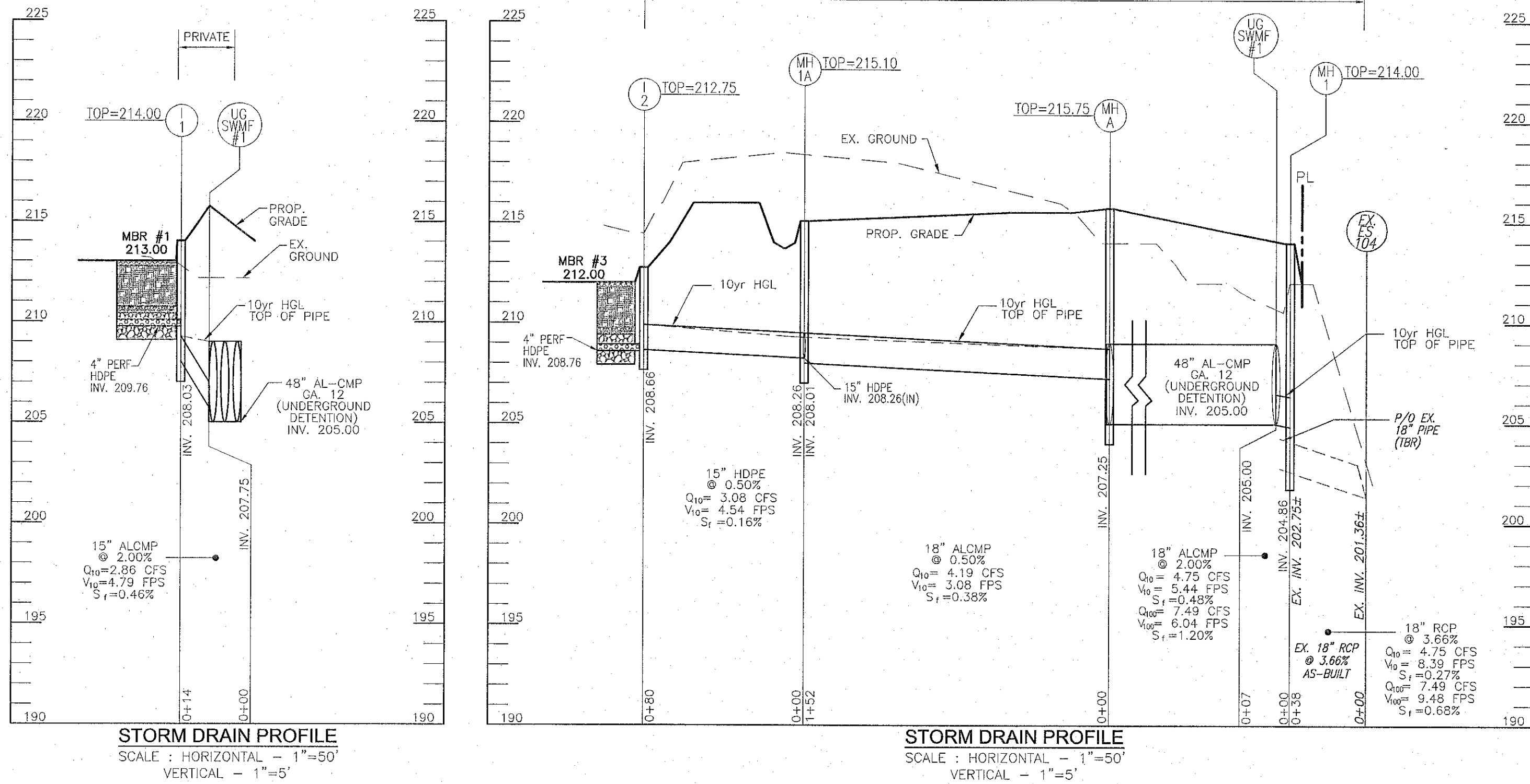


DESIGN BY: LRC
DRAWN BY: LRC/KG
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I HEREBY CERTIFY THAT THESE DOCUMENTS
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ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2022

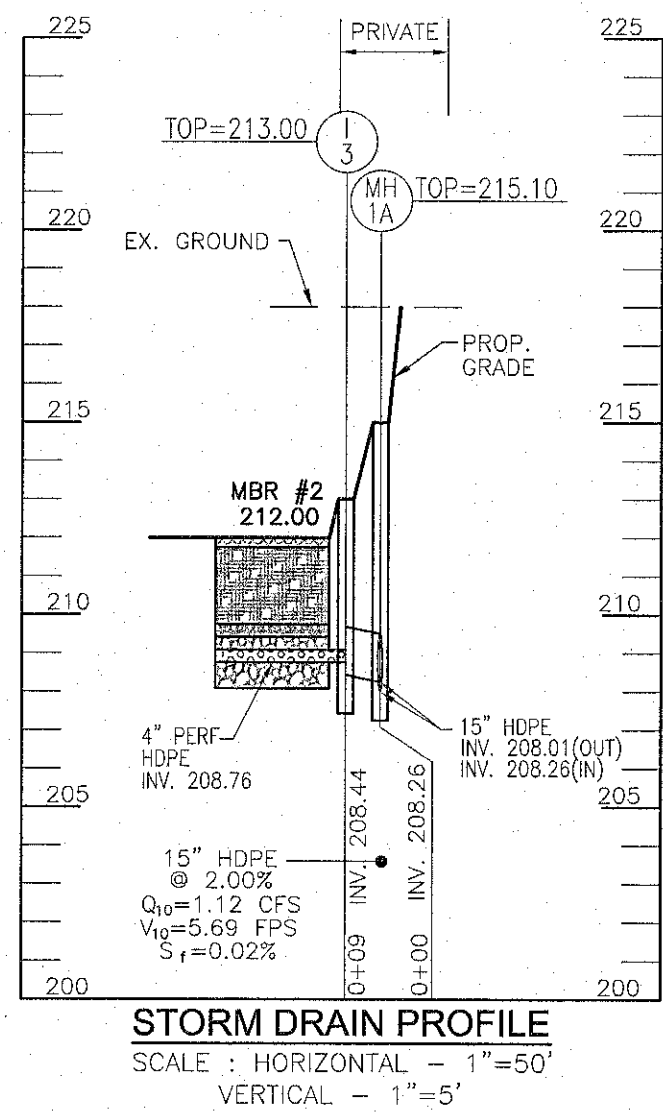
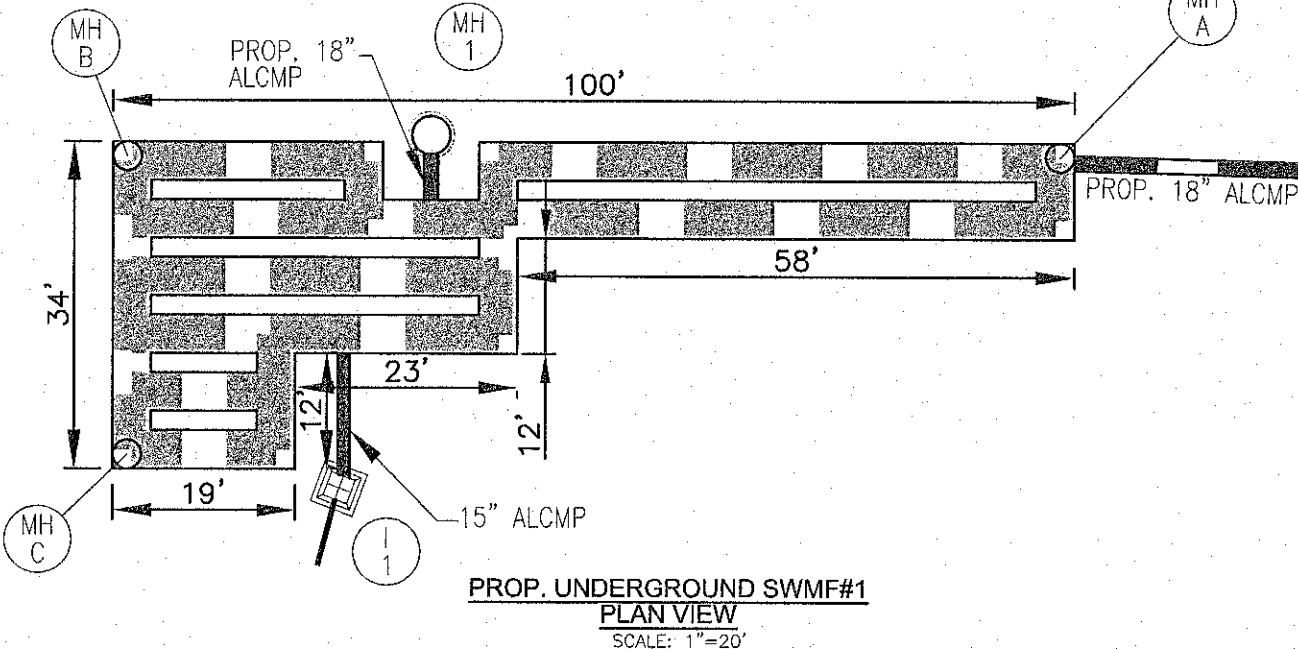
ROBERT H. VOGEL, PE No. 16193

7 SHEET OF 11

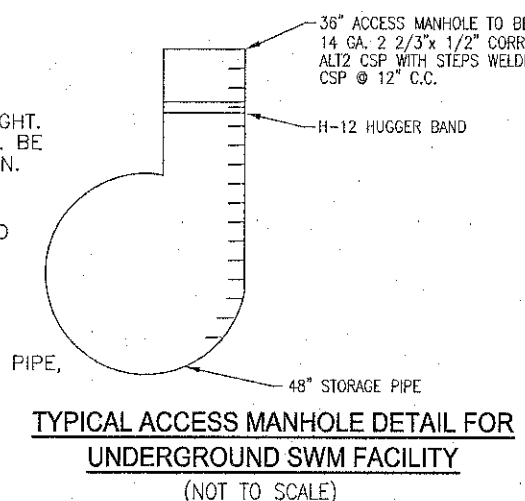


NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS	MAINTENANCE RESPONSIBILITY
EX. I-100	EXISTING INLET	N 550004.46 E 1374743.39	214.83	---	211.20	---	PUBLIC
EX. ES-104	18" END SECTION	N 550057.64 E 1375044.09	---	202.75	201.36	---	PRIVATE
I-1	TYPE 'S' INLET	N 550032.06 E 1374975.32	214.00	---	208.03	HO. CO. STD D-4.24	PRIVATE
I-2	TYPE 'S' INLET	N 549757.80 E 1375055.44	212.75	---	208.66	HO. CO. STD D-4.24	PRIVATE
I-3	TYPE 'S' INLET	N 549826.77 E 1375078.24	213.00	---	208.44	HO. CO. STD D-4.24	PRIVATE
I-4	TYPE 'S' INLET	N 549947.15 E 1374781.13	213.85	209.87	209.87	HO. CO. STD D-4.24	PUBLIC
I-5	TYPE DOUBLE 'WR' INLET	N 549890.55 E 1374793.59	214.87	---	210.14	HO. CO. STD D-4.31	PUBLIC
PT-1	---	N 549754.89 E 1374751.26	214.10	---	213.00	COG10 374.68	PRIVATE
EX. MH-103	4'-0" STANDARD PRECAST MANHOLE	N 549880.00 E 1374766.64	214.84	210.72	205.62	---	PUBLIC
MH-1	4'-0" STANDARD PRECAST MANHOLE	N 550036.76 E 1375012.84	214.00	204.86	202.75	MD 384.01	PRIVATE
MH-1A	5'-0" STANDARD PRECAST MANHOLE	N 549830.63 E 1375087.44	215.10	208.26	208.01	HO. CO. STD C-5.13	PRIVATE
MH-2	4'-0" STANDARD PRECAST MANHOLE	N 550004.54 E 1374756.04	215.64	211.07	210.97	HO. CO. STD C-5.12	PUBLIC
SMH-1	STD 4' PRECAST MANHOLE	N 549718.20 E 1374948.57	214.70	205.84	205.74	HO. CO. STD C-5.12	PRIVATE
SMH-2	STD 4' PRECAST MANHOLE	N 549741.23 E 1374999.82	214.14	207.06	206.96	HO. CO. STD C-5.12	PRIVATE
SMH-3	STD 4' PRECAST MANHOLE	N 549772.47 E 1375002.93	213.96	207.78	207.68	HO. CO. STD C-5.12	PRIVATE
SMH-4	STD 4' PRECAST MANHOLE	N 549946.86 E 1374924.53	216.53	---	211.60	HO. CO. STD S-1.31 (TERMINAL MANHOLE)	PRIVATE

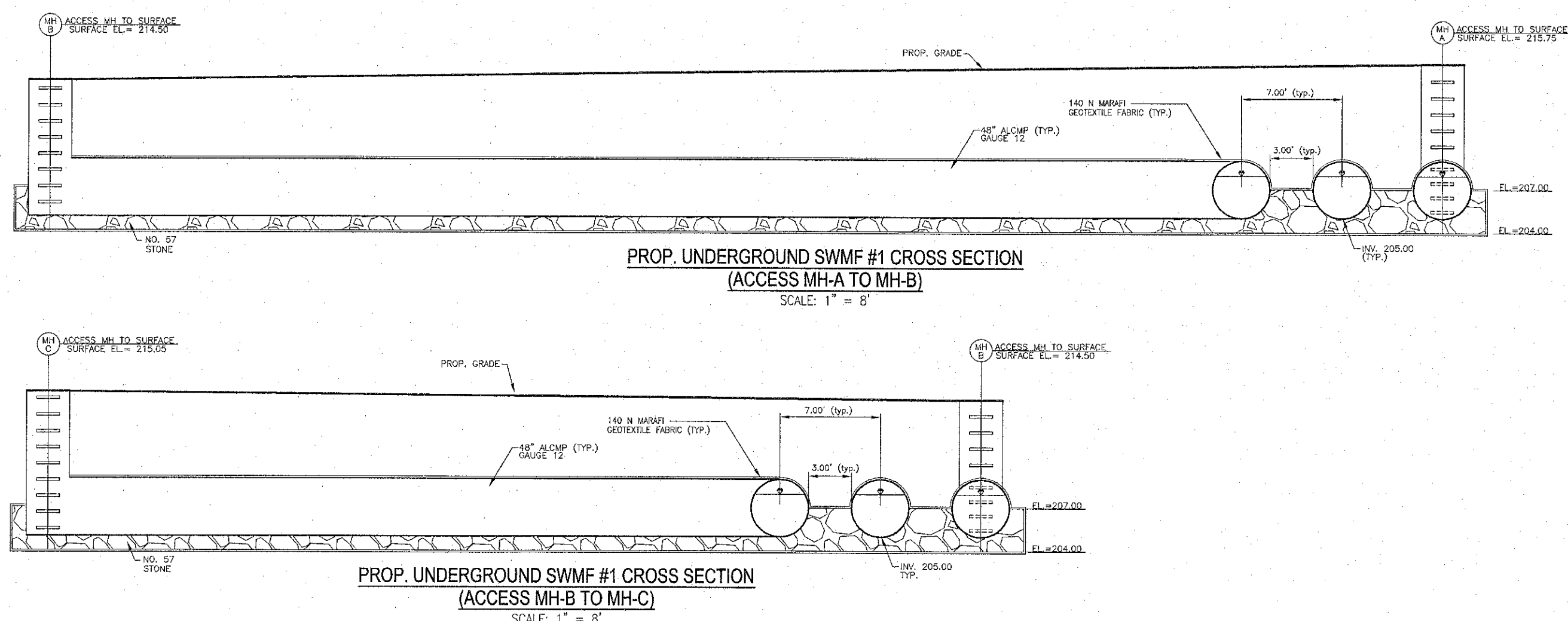
- NOTE: 1. Top elevations are at center top of headpiece for Type 'A-S', 'A-10', Type 'D' and Double Type 'S' Comb. inlets at center top of grate for type 'S', Double Type 'S', type 'K' inlet, and top of Manhole cover for Precast Manholes.
2. For top slab slopes see grading plan.
3. See Architectural plans for roof drain details.
4. All custom and non-standard structures to be designed by a qualified structural engineer.
5. This facility provides 10-yr and 100-yr SWM as required for deep-run watershed.



- 48" ALCMP DETENTION SYSTEM NOTES:**
- CONTRACTOR SHALL ENSURE THAT THE UNDERGROUND DETENTION FACILITY IS WATER-TIGHT.
 - ALL PIPE CONNECTIONS AT STRUCTURES SHALL BE CEMENTED TO ENSURE WATER-TIGHT CONNECTION.
 - ALL ALCMP PIPE JOINTS SHALL USE 12" WIDE HUGGER BAND WITH "O" RING GASKETS.
 - TEES AND ELBOWS TO BE FACTORY FABRICATED WELDS, ONE PIECE.
 - TRENCH BEDDING TO BE IN ACCORDANCE WITH RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER IN THE FIELD.
 - PROVIDE WATER-TIGHT JOINTS AT ALL PIPE CONNECTIONS. (FOR REINFORCED CONCRETE PIPE, ASTM C-361, RUBBER GASKET PIPE).

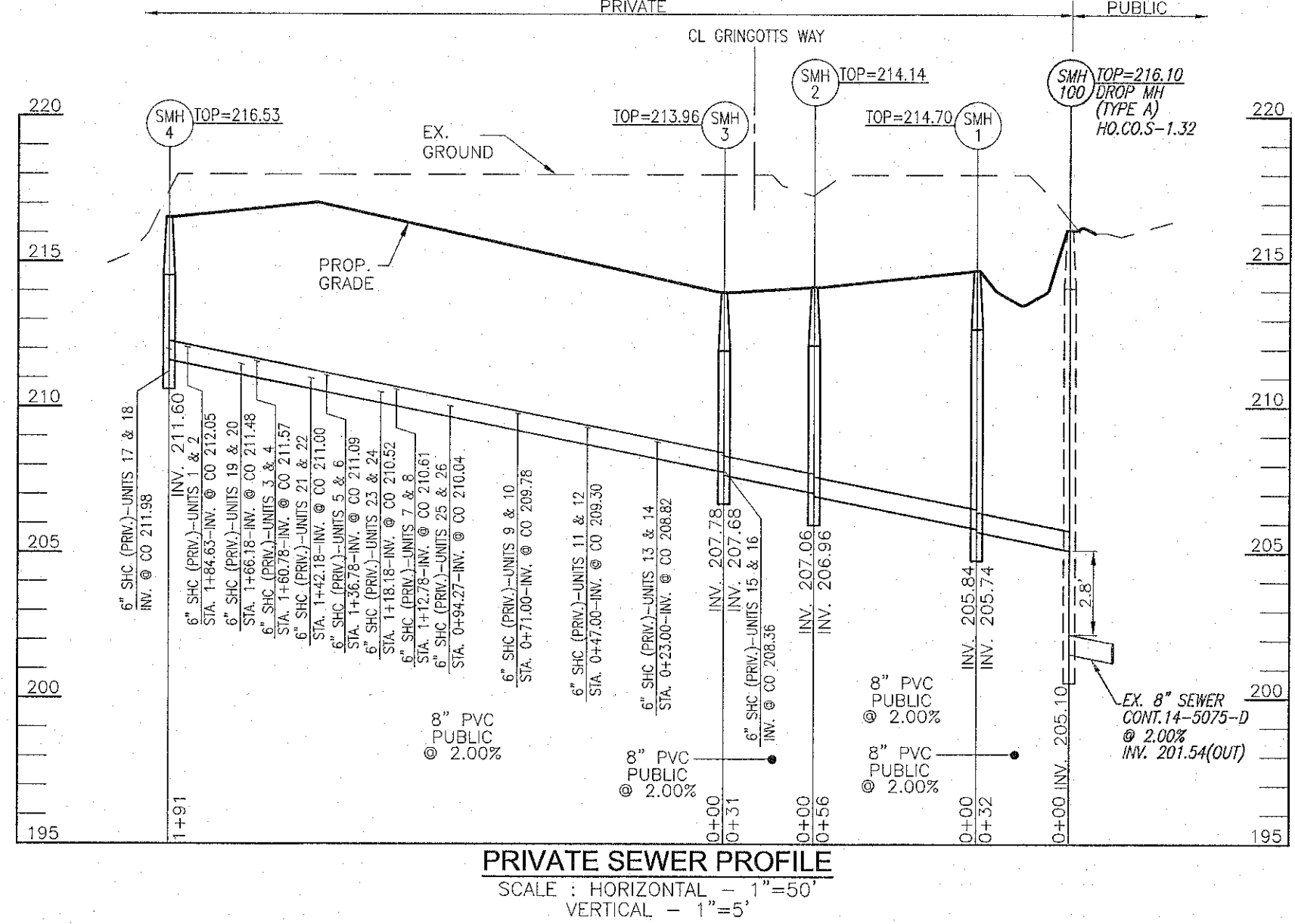


UNIT	TYPE	INV. SHC @ MAIN	SLOPE TO CO	DIST. TO CO	ELEV. @ C/O	SLOPE TO HOUSE	DIST. FROM CO TO REAR OF BLDG	ELEV. @ REAR OF BLDG	F. ELEV. BLDG	MCE
1	SHC	211.55	2%	25.00	212.05	2%	57	213.19	218.58	215.69
2	SHC	211.55	2%	25.00	212.05	2%	57	213.19	218.58	215.69
3	SHC	211.07	2%	25.00	211.57	2%	57	212.71	219.25	215.21
4	SHC	211.07	2%	25.00	211.57	2%	57	212.71	219.25	215.21
5	SHC	210.59	2%	25.00	211.09	2%	57	212.23	219.25	214.73
6	SHC	210.59	2%	25.00	211.09	2%	57	212.23	219.25	214.73
7	SHC	210.11	2%	25.00	210.61	2%	57	211.75	219.25	214.25
8	SHC	210.11	2%	25.00	210.61	2%	57	211.75	219.25	214.25
9	SHC	209.28	2%	25.00	209.78	2%	57	210.92	218.81	213.42
10	SHC	209.28	2%	25.00	209.78	2%	57	210.92	218.81	213.42
11	SHC	208.80	2%	25.00	209.30	2%	57	210.44	218.14	212.94
12	SHC	208.80	2%	25.00	209.30	2%	57	210.44	218.14	212.94
13	SHC	208.32	2%	25.00	208.82	2%	57	209.96	217.47	212.46
14	SHC	208.32	2%	25.00	208.82	2%	57	209.96	217.47	212.46
15	SHC	207.86	2%	25.00	208.36	2%	57	209.50	216.80	212.00
16	SHC	207.86	2%	25.00	208.36	2%	57	209.50	216.80	212.00
17	SHC	211.68	2%	15.00	211.98	2%	57	213.12	218.00	215.62
18	SHC	211.68	2%	15.00	211.98	2%	57	213.12	218.00	215.62
19	SHC	211.18	2%	15.00	211.48	2%	57	212.62	218.67	215.12
20	SHC	211.18	2%	15.00	211.48	2%	57	212.62	218.67	215.12
21	SHC	210.70	2%	15.00	211.00	2%	57	212.14	218.67	214.64
22	SHC	210.70	2%	15.00	211.00	2%	57	212.14	218.67	214.64
23	SHC	210.22	2%	15.00	210.52	2%	57	211.66	218.67	214.16
24	SHC	210.22	2%	15.00	210.52	2%	57	211.66	218.67	214.16
25	SHC	209.74	2%	15.00	210.04	2%	57	211.18	218.00	213.68
26	SHC	209.74	2%	15.00	210.04	2%	57	211.18	218.00	213.68



SIZE	TYPE	LENGTH
15"	RCP CLASS IV	97 LF
18"	RCP CLASS IV	36 LF

SIZE	TYPE	LENGTH
4"	PERFORATED HDPE	225 LF
8"	PVC SCH. 40 (SEWER)	311 LF
15"	HDPE	89 LF
15"	ALCMP	14 LF
18"	ALCMP	159 LF
48"	ALCMP	356 LF



UNIT	STREET ADDRESS	LOCATION DIMENSION 1	LOCATION DIMENSION 2
BUILDING 1			
UNIT 1	7738-A PORT CAPITAL DR		
UNIT 2	7738-B PORT CAPITAL DR		
UNIT 3	7736-A PORT CAPITAL DR		
UNIT 4	7736-B PORT CAPITAL DR		
UNIT 5	7734-A PORT CAPITAL DR		
UNIT 6	7734-B PORT CAPITAL DR		
UNIT 7	7732-A PORT CAPITAL DR		
UNIT 8	7732-B PORT CAPITAL DR		
SPRINKLER ROOM	7730 GRINGOTTS WAY		
BUILDING 2			
UNIT 9	7728-A PORT CAPITAL DR		
UNIT 10	7728-B PORT CAPITAL DR		
UNIT 11	7728-A PORT CAPITAL DR		
UNIT 12	7728-B PORT CAPITAL DR		
UNIT 13	7724-A PORT CAPITAL DR		
UNIT 14	7724-B PORT CAPITAL DR		
UNIT 15	7722-A PORT CAPITAL DR		
UNIT 16	7722-B PORT CAPITAL DR		
SPRINKLER ROOM	7720 GRINGOTTS WAY		
BUILDING 3			
UNIT 17	7201-A GRINGOTTS WAY		
UNIT 18	7201-B GRINGOTTS WAY		
UNIT 19	7203-A GRINGOTTS WAY		
UNIT 20	7203-B GRINGOTTS WAY		
UNIT 21	7205-A GRINGOTTS WAY		
UNIT 22	7205-B GRINGOTTS WAY		
UNIT 23	7207-A GRINGOTTS WAY		
UNIT 24	7207-B GRINGOTTS WAY		
UNIT 25	7209-A GRINGOTTS WAY		
UNIT 26	7209-B GRINGOTTS WAY		
SPRINKLER ROOM	7199 GRINGOTTS WAY		

OWNER/DEVELOPER
PORT CAPITAL CENTER OF MARYLAND LLC
P.O. BOX 416
ELLICOTT CITY, MD 21041
(410) 465-2020

SITE DEVELOPMENT PLAN
UTILITY PROFILES

POTTER'S PLACE
THE OAKS AT WATERS EDGE PHASE III
PARCEL A

TAX MAP 43 GRID 4
1ST ELECTION DISTRICT

ZONED: R-A-15

PARCEL 644
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 09-27-2022.

DESIGN BY: LRC
DRAWN BY: LRC/KG
CHECKED BY: RHV
DATE: SEPTEMBER 2020
SCALE: 1"=50' AS SHOWN
W.O. NO.: 41639

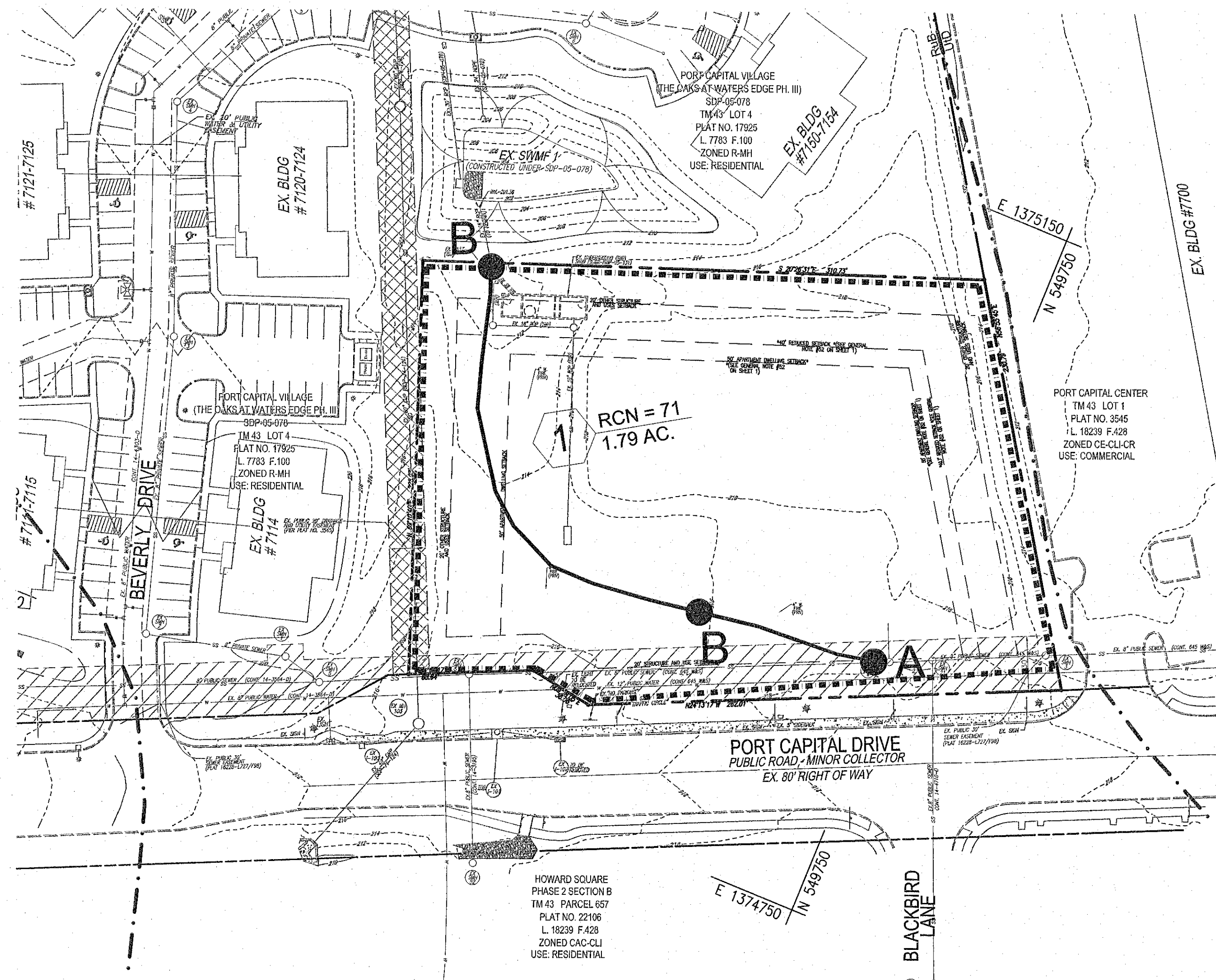
8 SHEET OF 11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

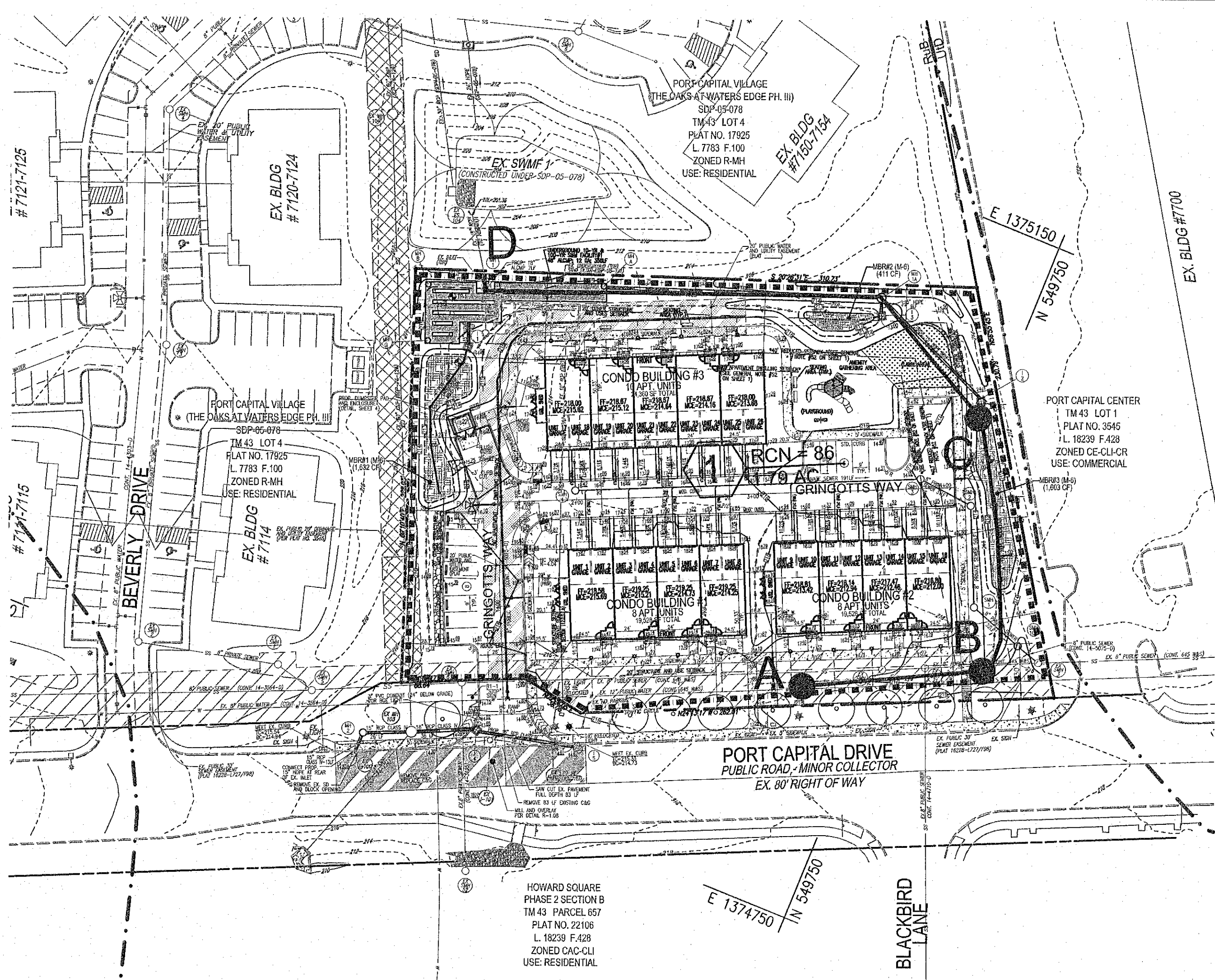
DIRECTOR DATE



EXISTING 10/100YR DRAINAGE AREA MAP

Ex. Conditions Summary Table		
Area A	Q10	Q100
	3.58 CFS	8.87 CFS

SCALE: 1"=50'

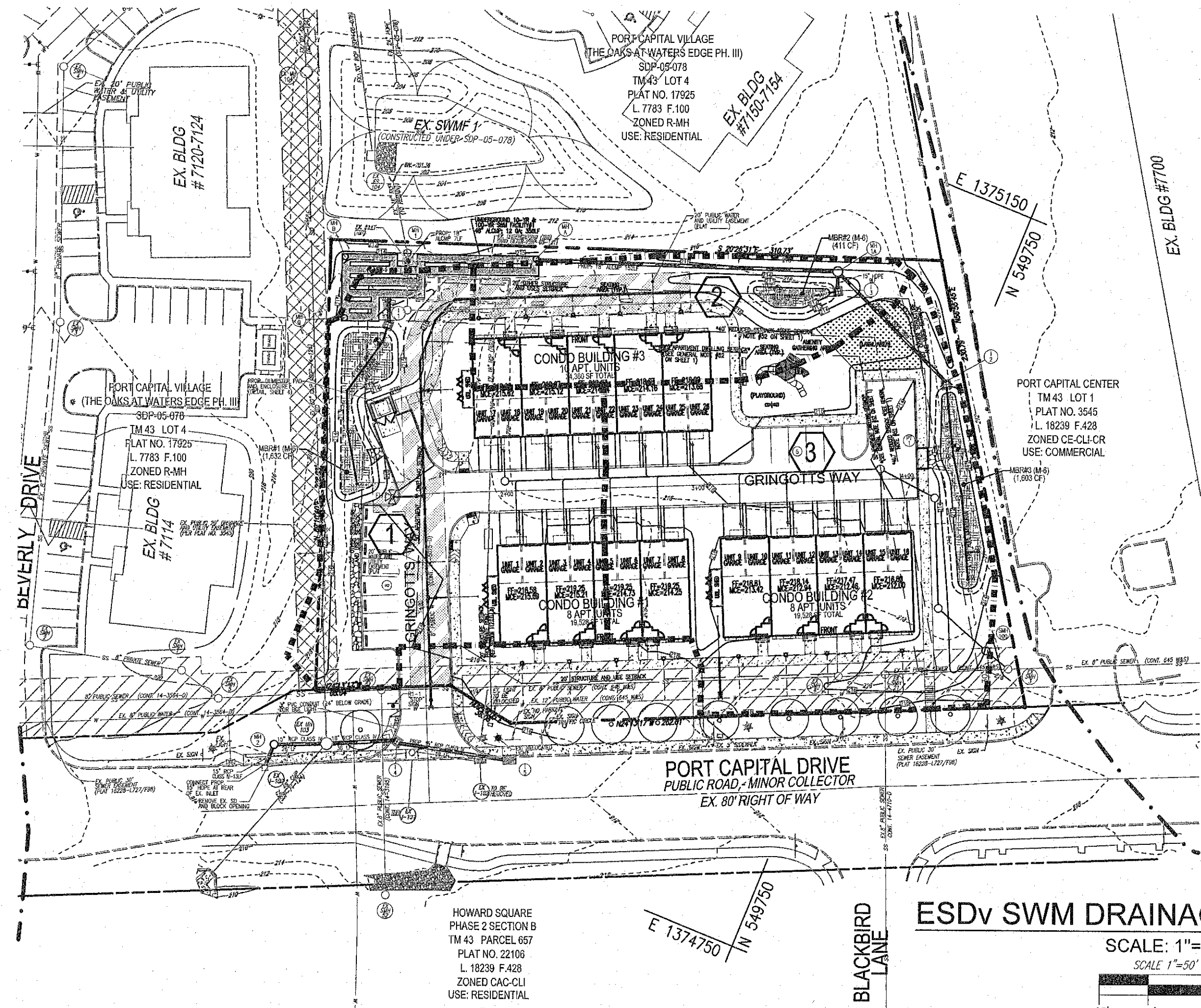


DEVELOPED CONDITION 10/100YR DRAINAGE AREA MAP

SCALE: 1"=50'

- LEGEND:**
- PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MAILEX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEMPUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - EXISTING FENCE
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - CENTERLINE OF EXISTING STREAM
 - PROPOSED DRAINAGE AREA DIVIDE
 - SOILS
 - PROPOSED STORMDRAIN
 - PROPOSED TREELINE
 - PROPOSED CURB
 - PROPOSED 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - 5' CONCRETE SIDEWALK & CONCRETE DRIVEWAY
 - MICRO-BIOTENTION (M-6)
 - MILL AND OVERLAY
 - EX. PUBLIC 30' SEWER EASEMENT PLAT # 19228- L727 F.98
 - 20' PUBLIC WATER AND UTILITY EASEMENT PLAT #
 - EX. PUBLIC 20' DRAINAGE AND UTILITY EASEMENT PLAT # 3545

Prop. Conditions Summary Table		
Area A	Q10	Q100
	5.91 CFS	11.51 CFS



ESDv SWM DRAINAGE AREA MAP

SCALE: 1"=50'

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	K VALUE
RuB	RUSSETT AND BELTSVILLE LOAM, 2 TO 5 PERCENT SLOPES, MODERATELY WELL DRAINED	C	0.0 - 0.06

NOTE: SWM CPV PROVIDED BY A MICROPOL EXTENDED DETENTION POND IN ADJACENT LOT 4 (ECP-16-031). THIS SITE PROVIDES REQUIRED WQV AND REV FOR 1" RUNOFF.

OWNER/DEVELOPER

PORT CAPITAL CENTER OF MARYLAND LLC
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(410) 465-2020

**SITE DEVELOPMENT PLAN
EXISTING AND PROPOSED
DRAINAGE AREA MAP**

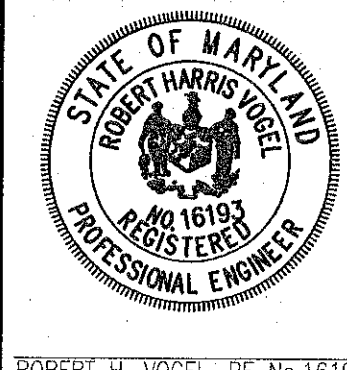
POTTER'S PLACE
THE OAKS AT WATERS EDGE PHASE III

TAX MAP 43 GRID 4
1ST ELECTION DISTRICT
PARCEL A
ZONED R-A-15
PARCEL 644
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

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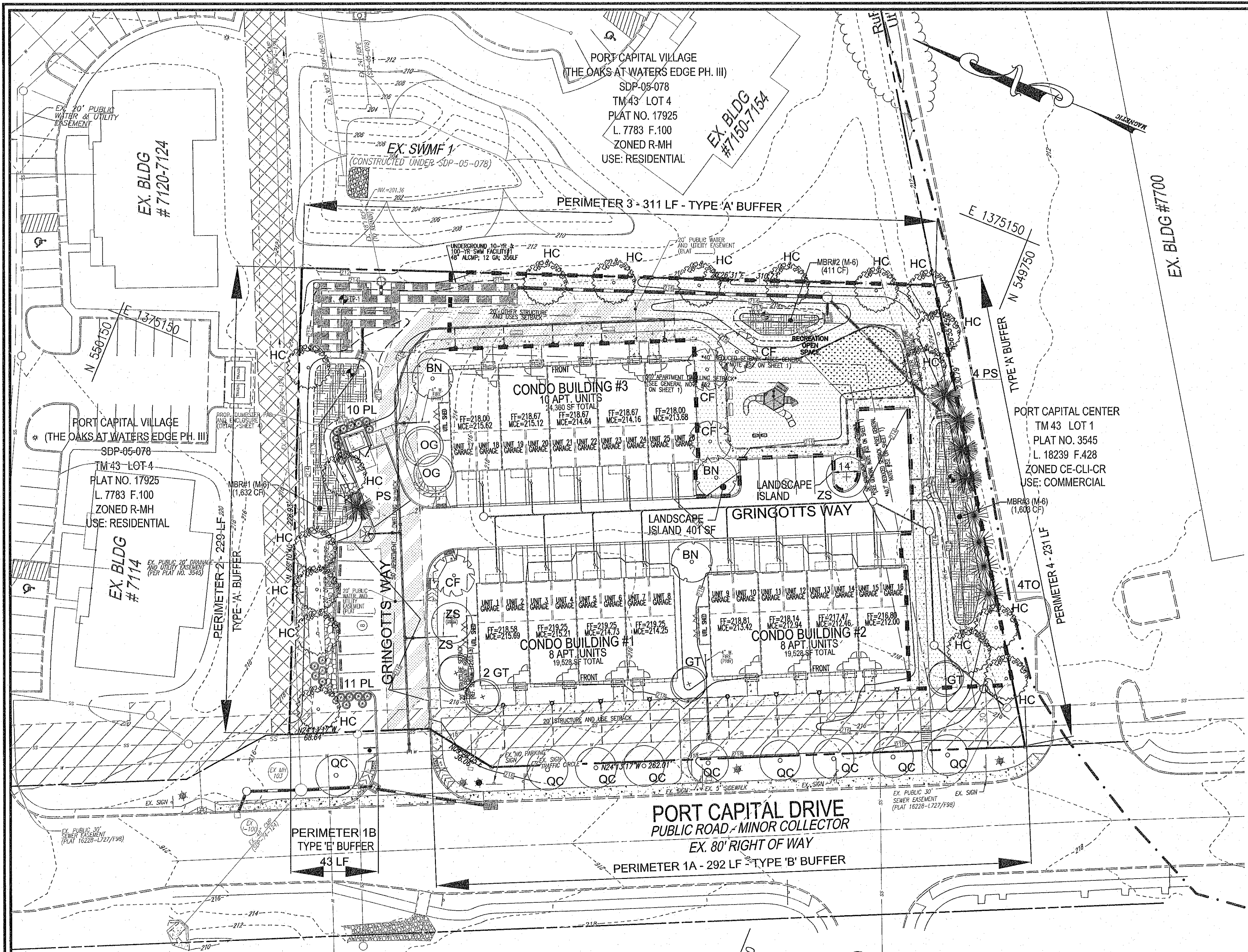
DESIGN BY: LRC
DRAWN BY: LRC/KG
CHECKED BY: RHY
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 41639

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A duly LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2023

10 SHEET OF 11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
DIRECTOR DATE



PERIMETER LANDSCAPE SCHEDULE A						
CATEGORY	ADJACENT TO ROADWAYS AND PERIMETER PROPERTIES					TOTAL
	1A	1B	2	3	4	
PERIMETER/FRONTAGE DESIGNATION	1A	1B	2	3	4	
LANDSCAPE TYPE	1A	1B	2	3	4	
LINEAR FEET OF ROADWAY	232	43	229	311	231	30
FRONTAGE/PERIMETER						
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	NO	NO	NO	NO
CREDIT FOR EXISTING TREES (YES, NO, LINEAR FEET)	NO	NO	NO	NO	NO	NO
CREDIT FOR EXISTING SHRUBS (YES, NO, LINEAR FEET)	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED						
SHADE TREES	1:50	1:40	1:60	1:60	1:60	21
EVERGREEN TREES	1:40	1:40	1:60	1:60	1:60	21
SHRUBS	1:4	1:1	1:1	1:1	1:1	11
NUMBER OF PLANTS PROVIDED						
SHADE TREES	4**	1	4	5	6**	21
EVERGREEN TREES	0**	1	4	5	6**	21
OTHER TREES (2:1 SUBSTITUTION)	11	1	1	1	1	9
SHRUBS (10:1 SUBSTITUTION)	11	1	1	1	1	21
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW (IF NEEDED)						

* ONE EVERGREEN TREE IS SUBSTITUTE WITH 10 SHRUBS.
** THE REQUIRED 2 SHADE AND 8 EVERGREEN TREES FROM PERIMETER 1A ARE PROVIDED ON PERIMETER 4 DUE TO EXISTING 30' EASEMENT ALONG PORT CAPITAL DRIVE AND TO ENHANCE SCREENING AT PERIMETER 4.

PLANT LIST - SCHEDULE A (PERIMETER)				
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
HC	17	BETULA NIRA 'HERITAGE'	2.5"-3" CAL.	B & B
HC	4	GLADSTONIA THYACANTHOS F. INERMIS 'IMPOLE'	2.5"-3" CAL.	B & B
HC	5	PRUNUS STROBUS	6"-8" HGT.	B & B
HC	4	THUJA OCCIDENTALIS 'GREEN EMERALD'	6"-8" HGT.	B & B
PL	21	PRUNUS MAUROCARPUS 'OTTO LUTYKEN'	2"-2.5" HGT.	B & B

PLANT LIST - SCHEDULE D (STREET TREES)				
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
QC	9	QUERCUS COCCINEA	2.5"-3" CAL.	B & B
QC	9	SCARLET OAK	2.5"-3" CAL.	B & B

STREET TREE CALCULATIONS				
STREET NAME	LINEAR FEET	REQUIRED	PROVIDED	
PORT CAPITAL DRIVE (MINOR COLLECTOR)	350	9	9	

LANDSCAPE SCHEDULE NOTES:

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENTS, BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERRIES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. CONDITIONS, TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT WITH THIS PLAN, IN THE AMOUNT OF \$11,430.00 FOR THE REQUIRED 32 SHADE TREES, 10 EVERGREEN TREES, AND 11 SHRUBS.
- FINANCIAL SURETY FOR THE REQUIRED STREET TREE PLANTING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT WITH THIS PLAN, IN THE AMOUNT OF \$2,700.00 FOR THE REQUIRED 9 SHADE TREES. THE SURETY FOR THE PUBLIC STREET TREES WILL BE ADDRESSED WITH THE BID'S COST ESTIMATE.

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- 5' CONCRETE SIDEWALK & CONCRETE DRIVEWAY
- PROPOSED LIGHT POLE
- PROPOSED STREET TREES
- EXISTING TREELINE
- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS
- LANDSCAPE PERIMETER
- TEST PITS
- EX. PUBLIC 30' SEWER EASEMENT PLAT# 10228- L727 F.98
- 20' PUBLIC WATER AND UTILITY EASEMENT PLAT#
- EX. PUBLIC 20' DRAINAGE AND UTILITY EASEMENT PLAT # 3545
- MICRO-BIODIVERSITY AREA (M-B)
- RECREATION AREA

STORMWATER MANAGEMENT FACILITY PRIVATELY OWNED AND MAINTAINED

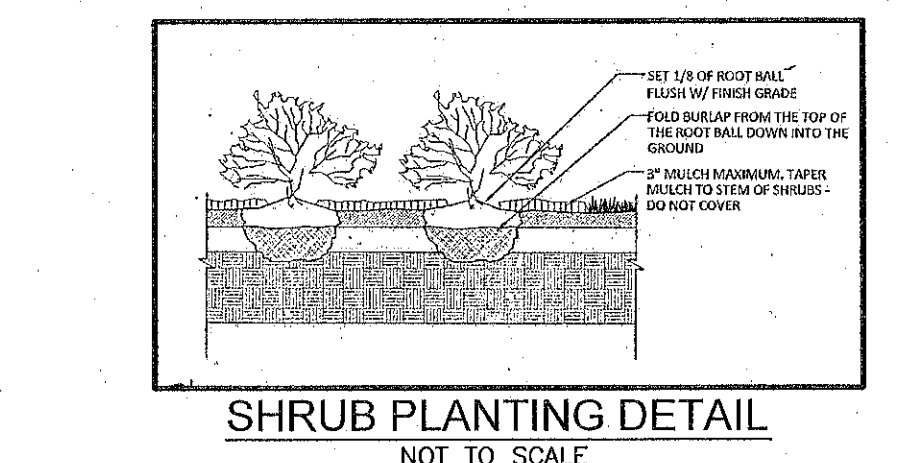
OWNER/DEVELOPER
PORT CAPITAL CENTER OF MARYLAND LLC
P.O. BOX 416
ELLCOTT CITY, MD 21041
(410) 465-2020

SITE DEVELOPMENT PLAN
LANDSCAPE PLAN AND DETAILS

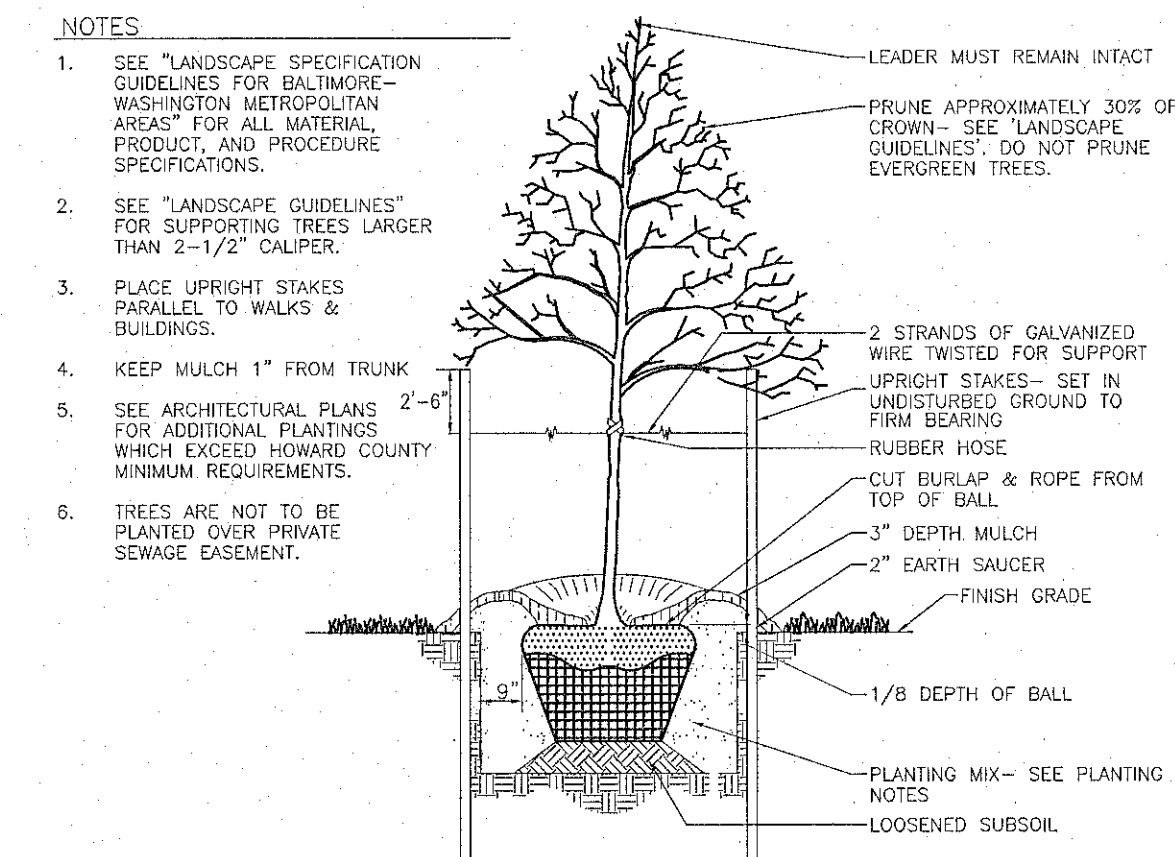
POTTER'S PLACE
THE OAKS AT WATERS EDGE PHASE III
PARCEL A
ZONED: R-A-15
TAX MAP 43 GRID 4
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

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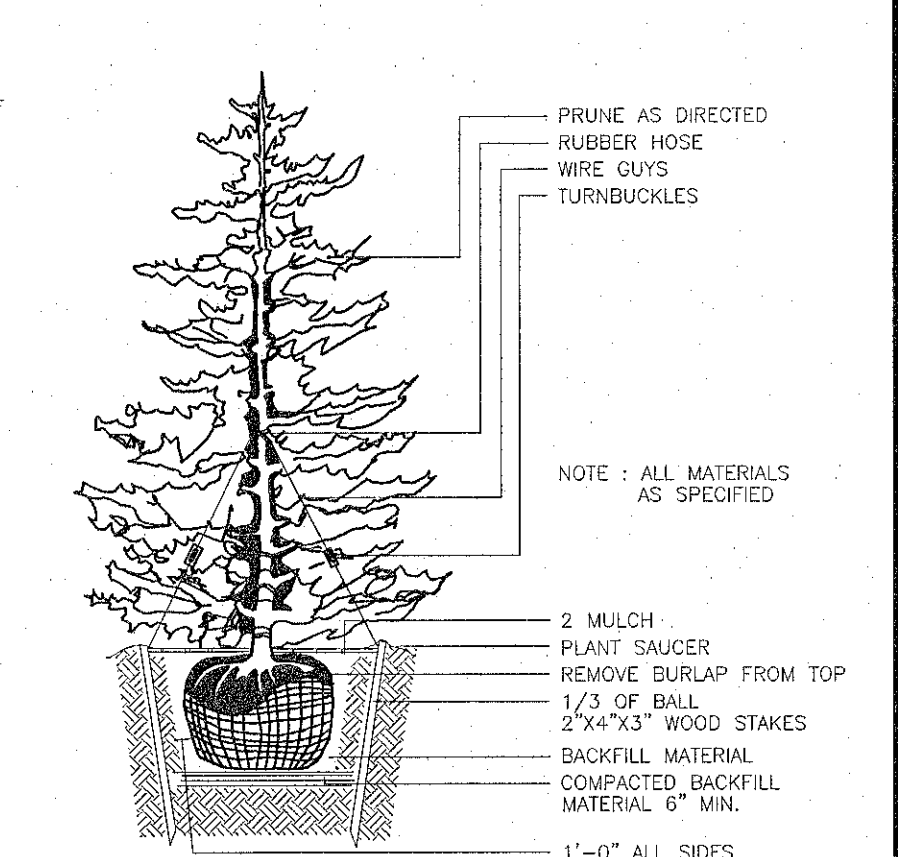
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 08-27-2022.
DESIGN BY: LRG
DRAWN BY: LRG/KG
CHECKED BY: RHV
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 41639
11 SHEET OF 11



SHRUB PLANTING DETAIL
NOT TO SCALE



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER
NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING				
Number of parking spaces				
Number of trees required				
Number of trees provided				
Shade Trees (2:1 Substitution)				
Other Trees (2:1 Substitution)				
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
ZS	2	ZELKOVA SERRATA 'VILLAGE GREEN'	2.5"-3" CAL.	B & B
ZS	2	VILLAGE GREEN JAPANESE ZELKOVA	2.5"-3" CAL.	B & B

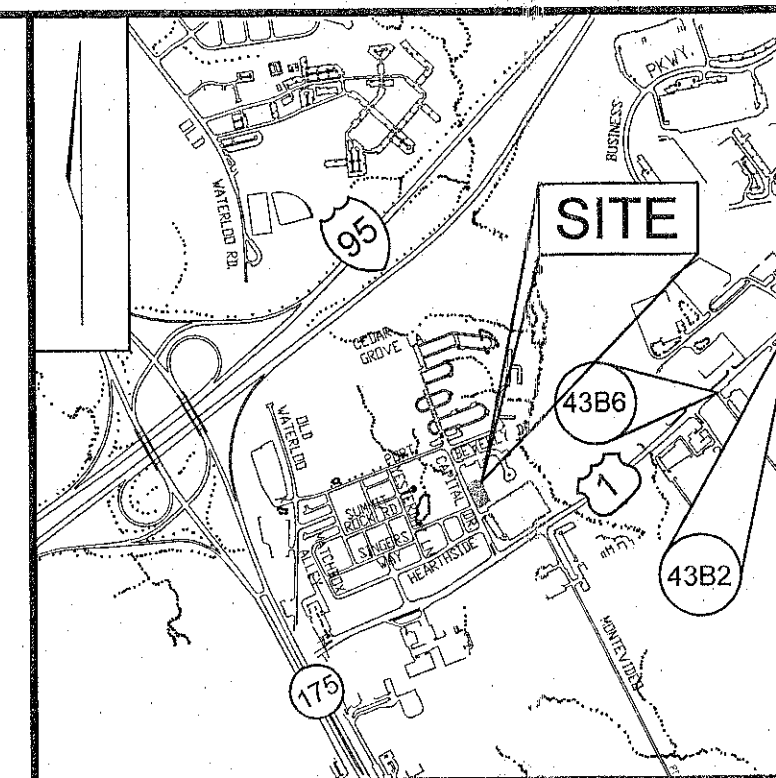
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
SIGNATURE OF DEVELOPER
DATE

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING				
NUMBER OF DWELLING UNITS				
NUMBER OF TREES REQUIRED (1:3)				
NUMBER OF TREES PROVIDED				
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
OG	2	ACER RUBRUM 'OCTOBER GLORY'	2.5"-3" CAL.	B & B
CF	4	CORNUS FLORIDA 'WHITE FLOWERING DOGWOOD'	6"-10" HGT.	B & B
BN	3	BETULA NIRA 'BNMIF' DURA-HEAT RIVER BIRCH	30"-40" HGT.	B & B

POTTER'S PLACE
FINAL WATER AND SEWER
(THE OAKS AT WATERS EDGE PHASE III-PARCEL A)
CONTRACT NO. 14-5075-D

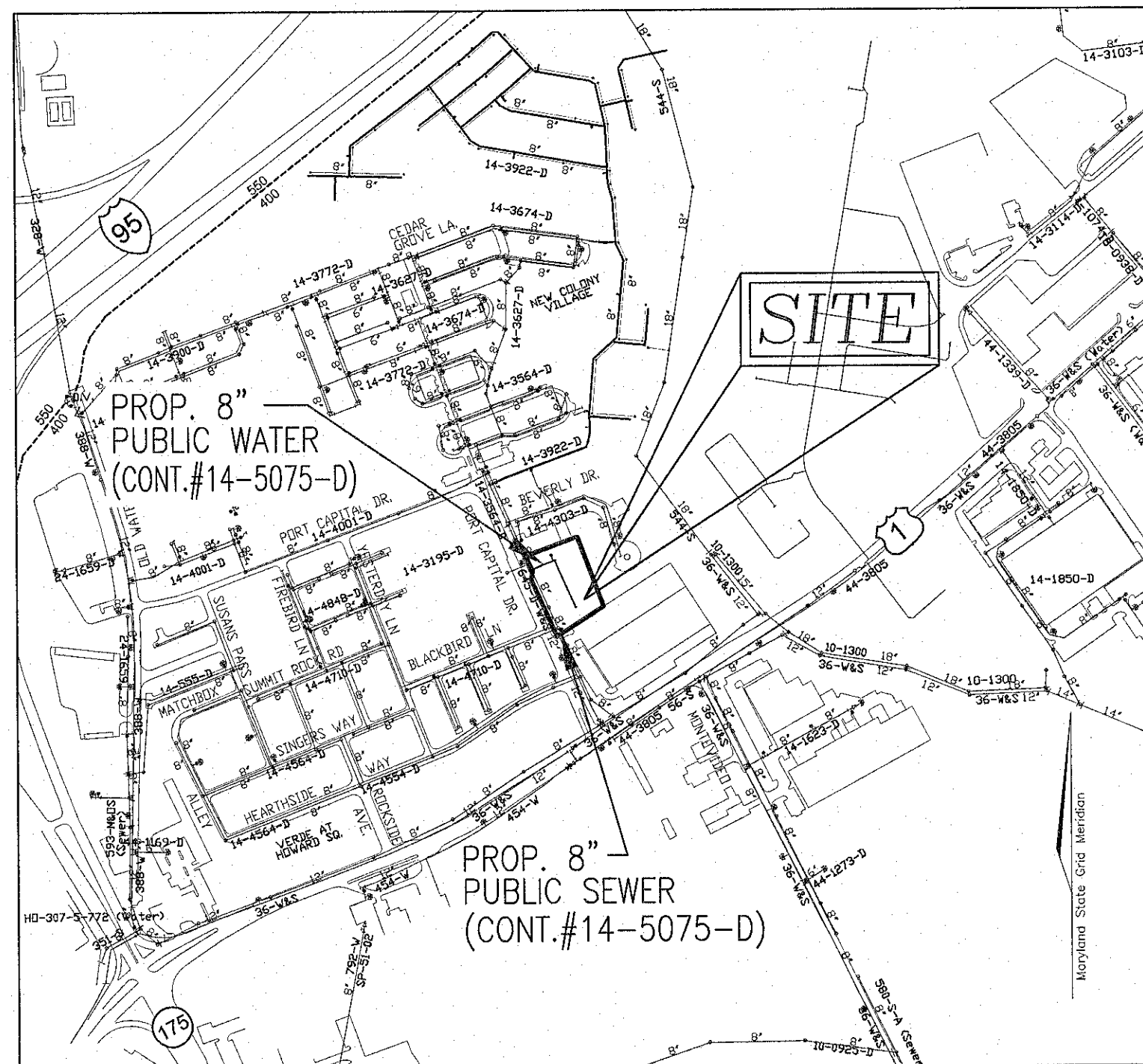
BENCHMARKS			
NO.	NORTHING	EASTING	ELEVATION
43B2	551,655.009	1,378,176.941	209.605'
43B6	550,601.593	1,376,866.047	210.560'



VICINITY MAP
SCALE: 1"=2000'

LEGEND

EXISTING TREELINE	
PROPOSED TREELINE	
EXISTING WATER MAIN	
PROPOSED WATER MAIN	
FIRE HYDRANT	
PROPOSED VALVE	
PROPOSED TEE	
PROPOSED STORM DRAIN	
EXISTING STORM DRAIN	
EXISTING SEWER	
SEWER MANHOLE	
PRIVATE WATER HOUSE CONNECTION	
PRIVATE SEWER	
PROPOSED SIGN	
PROPOSED LIGHT	



LOCATION PLAN
SCALE: 1"=600'

WATER ZONE:	400
TEST GRADIENT:	677
TEST PRESSURE:	202.54 PSI

TYPE OF BUILDING :	RESIDENTIAL
NO. OF APARTMENT BUILDING :	—
NO. OF TOWNHOUSE BUILDING :	26 (STACKED)
NO. OF SINGLE SEWER HOUSE CONNECTIONS :	—
NO. OF TWIN SEWER HOUSE CONNECTIONS :	—
NO. OF SINGLE WATER HOUSE CONNECTIONS :	—
NO. OF TWIN WATER HOUSE CONNECTIONS :	13
SEWER SHED :	PATAPSCO
TREATMENT PLANT :	PATAPSCO RIVER

- GENERAL NOTES
1. APPROXIMATE LOCATIONS OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
2. TOPOGRAPHY FIELD SURVEYS WERE PERFORMED ON MARCH 1998 BY POTOMAC AERIAL SURVEYS.
3. HORIZONTAL AND VERTICAL SURVEY CONTROLS:
THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD '83/'91 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 43B2 AND 43B6.
ALL VERTICAL CONTROLS ARE BASED ON NAVD' 88. VERTICAL CONTROLS PROVIDED ON DRAWINGS ARE:
GEODETIC SURVEY CONTROL 43B2 (N 551,654.993/E 1,378,176.951)
BRASS DISC SET ON TOP OF A CONCRETE MONUMENT, GEODETIC SURVEY CONTROL 43B6 (N 550,601.597/E 1,376,866.072)
BRASS DISC SET ON TOP OF A CONCRETE MONUMENT.
4. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
5. CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 5'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES, ANY COST INCURRED BY THE OWNER FOR BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
6. FOR DETAILS NOT SHOWN ON THE DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS USE, HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
7. WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE NOTED BY THE SYMBOL AT THE LOCATIONS OF THE TEST PITS. A NOTE OR NOTES CONTAINING THE RESULTS OF THE TEST PIT OR PITS IS INCLUDED ON THE DRAWINGS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATION AT HIS OWN EXPENSE.
8. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
AT&T 1-800-252-1133
BGE (CONSTRUCTION SERVICES) 410-637-8713
BGE (EMERGENCY) 410-685-0123
BUREAU OF UTILITIES 410-313-4900
COLONIAL PIPELINE CO 410-795-1390
MISS UTILITY 1-800-257-7777
STATE HIGHWAY ADMINISTRATION 410-531-5533
VERIZON 1-800-743-0033
9. TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE CONSTRUCTION OF THE MAIN.
11. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT (410) 313-7450 AT LEAST FIVE WORKING DAYS BEFORE OPEN CUTTING OR BORING/JACKING OF ANY COUNTY ROAD FOR LAYING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.114(g) OF THE HOWARD COUNTY CODE.

- PART II - WATER
1. ALL WATER MAINS SHALL BE C-900 PVC (DR-14) UNLESS OTHERWISE NOTED.
2. TOPS OF ALL WATER MAINS SHALL HAVE A MINIMUM OF 3'-6" OF COVER UNLESS OTHERWISE NOTED.
3. VALVES ADJACENT TO TEES SHALL BE STOPPED TO TEES.
4. ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
5. FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS. THE SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND SECTION 1005 OF THE STANDARD SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
7. TRACER WIRE AND CONTINUITY TEST STATIONS SHALL BE INSTALLED ON ALL DIP AND PVC WATER MAINS IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL.
8. FOR PVC WATER MAINS, ALL RECORDS FOR THE QUALITY CONTROL AND QUALIFICATION TEST REQUIREMENTS NOTED IN SECTION 5.1 OF THE AWWA STANDARD C900 FOR PVC PRESSURE PIPE SHALL BE SUBMITTED WITH THE PIPE MATERIAL CERTIFICATIONS OR SHOP DRAWINGS PRIOR TO APPROVAL OF THE MATERIAL FOR USE. THE TEST RECORDS SHALL BE FOR THE PIPE TO BE INSTALLED UNDER THIS CONTRACT. ALL PVC PIPE SHALL CONTAIN MARKINGS TO ALLOW CROSS REFERENCING OF THE PIPE SUPPLIED TO THE REST RECORDS RECEIVED.
9. UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS, SACRIFICIAL ANODES SHALL BE INSTALLED ON ALL VALVES AND METALLIC FITTINGS USED WITH PVC WATER MAINS IN ACCORDANCE WITH VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION. SEVENTEEN (17) POUND MAGNESIUM ANODES SHALL BE INSTALLED ON ALL VALVES AND DUCTILE IRON FITTINGS INCLUDING RESTRAINTS AND HARNESSSES. TWELVE (12) POUND ZINC ANODES SHALL BE INSTALLED ON ALL STAINLESS STEEL FITTINGS AND SADDLES USED WITH PVC MAINS. ALL "TEES" USED WITH PVC MAINS SHALL BE DUCTILE IRON.
10. PROPER ASSEMBLY OF GASKETED PVC PIPE JOINTS: THE MANUFACTURE'S INSERTION LINE OF GASKETED PVC PIPE JOINTS INDICATES THE MAXIMUM DEPTH OF INSERTION OF THE SPIGOT INTO THE BELL. AFTER ASSEMBLY OF THE JOINT, THE INSERTION LINE SHALL REMAIN VISIBLE. DUAL INSERTION LINES ON GASKETED PVC PIPE INDICATE THE MAXIMUM AND MINIMUM DEPTH OF INSERTION OF THE SPIGOT INTO THE BELL. THE CONTRACTOR SHALL NOT OVER INSERT OR OVER HOME THE SPIGOT INTO THE BELL OF PVC PIPE.
11. ALL CHANGES IN HORIZONTAL OR VERTICAL DIRECTION OF PVC WATER PIPE SHALL BE MADE WITH STANDARD BENDS, 5-DEGREE SWEEPS OR HIGH DEFLECTION (HD) COUPLINGS. NO BENDING OF THE PIPE OR DEFLECTING OF PVC PIPE JOINTS IS PERMITTED. WHERE HIGH DEFLECTION COUPLINGS OR 5-DEGREE SWEEPS ARE PERMITTED, THE CONTRACTOR SHALL PROVIDE ONE FULL PIPE LENGTH (20-FOOT LONG) ON EITHER SIDE OF THE HIGH DEFLECTION COUPLING OR 5-DEGREE SWEEP. THE CONTRACTOR SHALL USE A VIBRATORY PLATE COMPACTOR OR OTHER APPROVED MEANS TO THOROUGHLY COMPACT THE #57 STONE ON BOTH SIDES OF THE HIGH DEFLECTION COUPLING OR 5-DEGREE SWEEP, TAKING CARE NOT TO USE COMPACTION EQUIPMENT DIRECTLY OVER THE FITTING. PVC HIGH DEFLECTION COUPLINGS SHALL BE LIMITED TO A TOTAL DEFLECTION OF 3-DEGREES 1-1/2- DEGREE ON EITHER END OF THE COUPLING). SHALL BE RATED FOR A MINIMUM 200 PSI MEETING THE REQUIREMENTS OF AWWA C900, SHALL HAVE A MINIMUM LAY LENGTH OF 9-INCHES AND SHALL HAVE CENTER STOPS. PVC HIGH DEFLECTION COUPLINGS SHALL BE CERTAINTED PVC HIGH DEFLECTION (HD) STOP COUPLINGS OR EQUAL. FIVE DEGREE SWEEPS SHALL BE BELL BY SPIGOT, RATED FOR A MINIMUM 225 PSI, DR18 MEETING THE REQUIREMENTS OF AWWA C900 AND SHALL BE MULTI FITTINGS (IPX) BLUE BRUTE DR18 OR EQUAL.
12. WHEN PVC HIGH DEFLECTION COUPLINGS OR PVC 5-DEGREE SWEEPS ARE USED TO FACILITATE CHANGES IN HORIZONTAL OR VERTICAL ALIGNMENTS OF AWWA C-900 PVC PIPELINES, THE CONTRACTOR SHALL INSTALL DEVICES FOR THE PREVENTION OF OVER-INSERTION OF THE PVC PIPE SPIGOTS OR PLAIN ENDS INTO THE PUSH ON BELL JOINT ON BOTH SIDES OF THE HIGH DEFLECTION COUPLINGS AND 5 DEGREE SWEEPS. BELL STOPS SHALL BE PLACED AT THE PROPER INSERTION LINE FOR THE FITTING. THE BELL STOP SHALL BE MANUFACTURED OF DUCTILE IRON AND INCORPORATE AN EXPANSION RETENTION SPRING TO ALLOW FOR PIPE EXPANSION AND CONTRACTION. THE BELL STOPS SHALL BE SERIES 5000 MEGA-STOP, AS MANUFACTURED BY EBAA IRON INC. OR APPROVED EQUAL.

- PART III - SEWER
1. ALL SEWER MAINS SHALL BE D.I.P. OR P.V.C. UNLESS OTHERWISE NOTED.
2. ALL MANHOLES SHALL BE 4'-0" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
3. FORCE MAINS SHALL BE D.I.P. ONLY.
4. MANHOLES SHOWN WITH 12" AND 18" WALLS ARE FOR BRICK MANHOLES ONLY.
5. MANHOLES DESIGNATED W.T. IN PLAN AND PROFILE SHALL HAVE WATERTIGHT FRAME AND COVER, STANDARD DETAIL G5.52. WHERE WATERTIGHT MANHOLE FRAMES AND COVERS ARE USED, SET TOP OF FRAME 1'-6" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
6. HOUSE(S) WITH THE SYMBOL "C.N.S." INDICATES THAT THE CELLAR CANNOT BE SERVED.

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

SOIL CONSERVATION DISTRICT

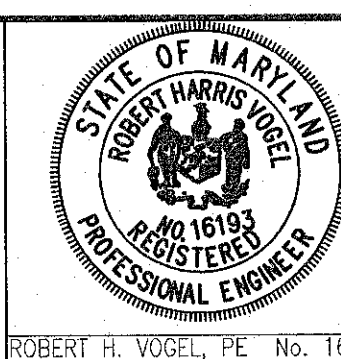
DATE

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 308 OF THE SPECIFICATIONS AND WITH SITE DEVELOPMENT PLAN SDP-20-004

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 09-27-2022
DRN: LRC/KG DES: LRC
CHK: RHV
DATE: SEPTEMBER 2020

BY NO. REVISION DATE

**FINAL WATER AND SEWER
CONSTRUCTION PLAN
CONTRACT 14-5075-D
COVER SHEET**

600' SCALE MAP NO. 43

BLOCK NO. 4

TAX MAP 43 GRID 4
1ST ELECTION DISTRICT

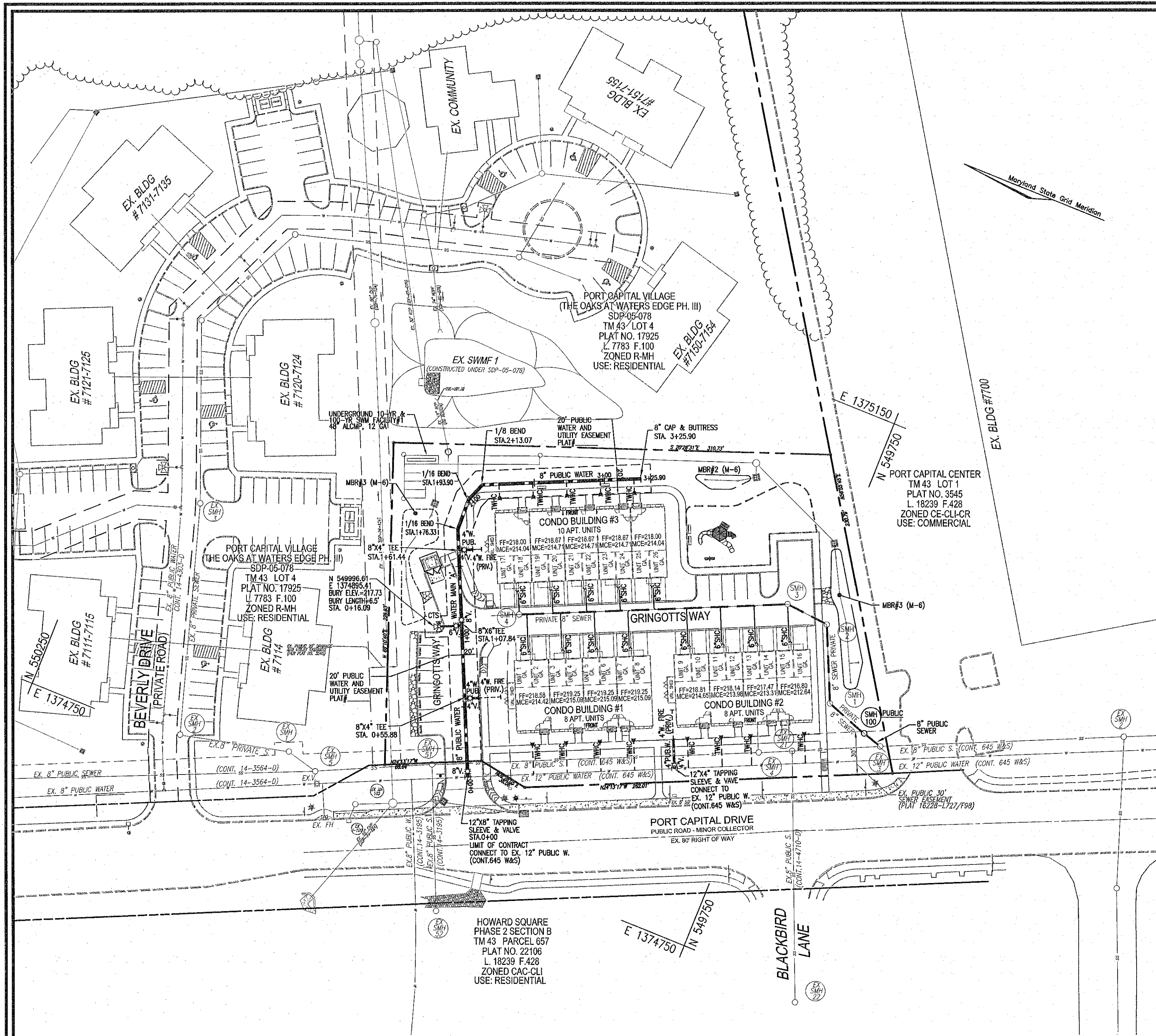
POTTER'S PLACE
(THE OAKS AT WATERS EDGE PHASE III-PARCEL A)

PARCEL 644
HOWARD COUNTY, MARYLAND

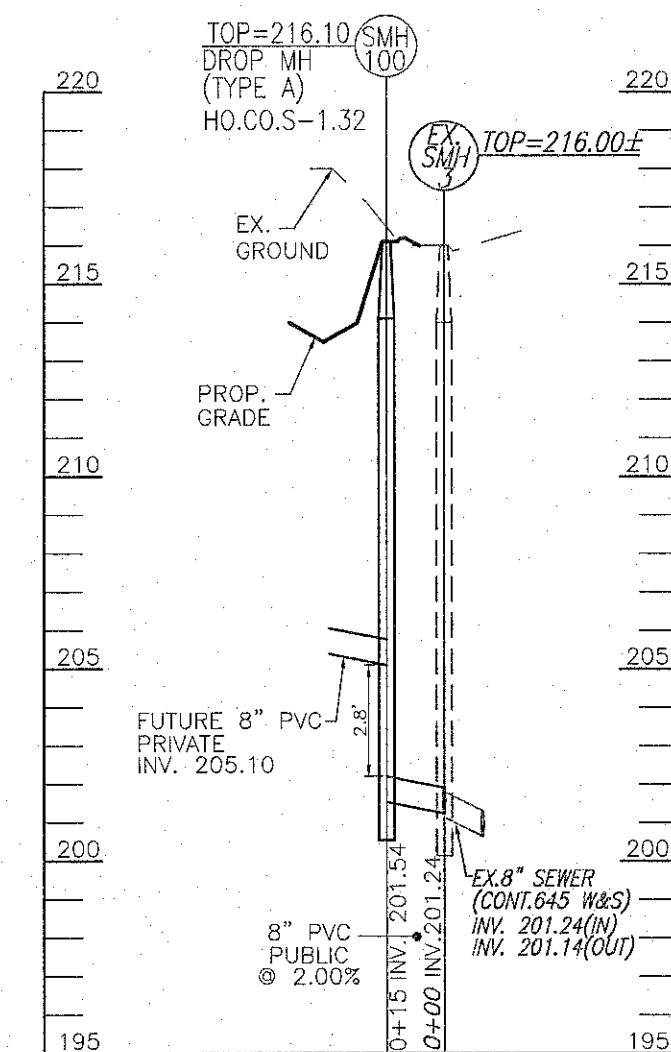
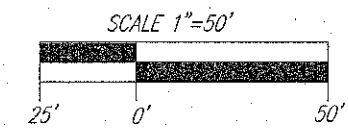
SCALE
AS
SHOWN

SHEET
1 OF 2

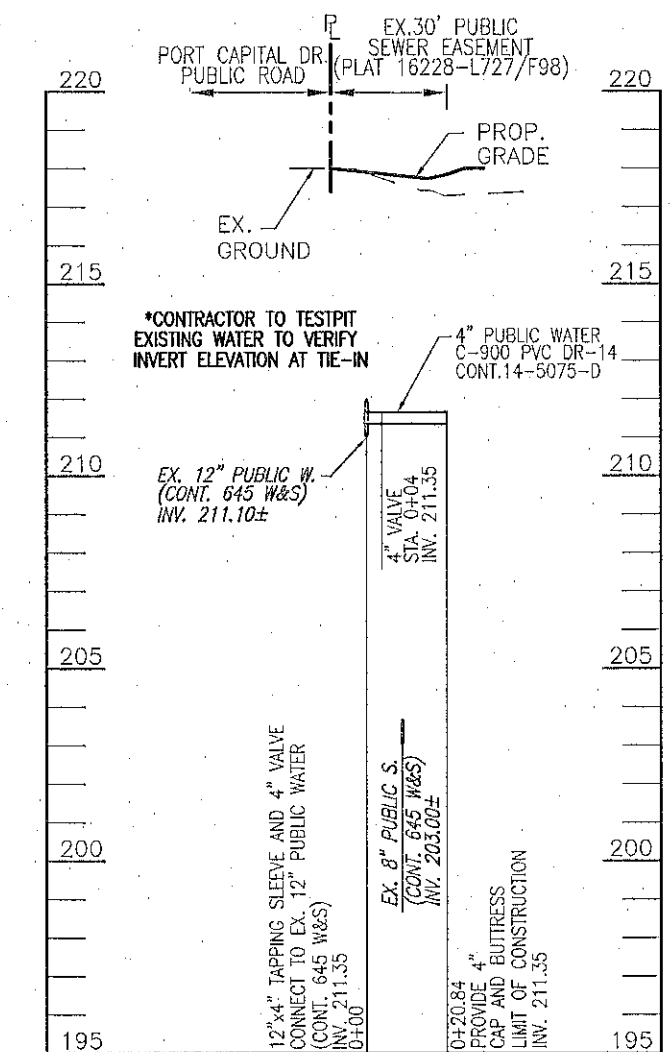
OWNER/DEVELOPER
PORT CAPITAL CENTER OF MARYLAND LLC
PO BOX 416
ELLICOTT CITY, MD 21041
C/O: ARNOLD SAGNER
410-465-2020



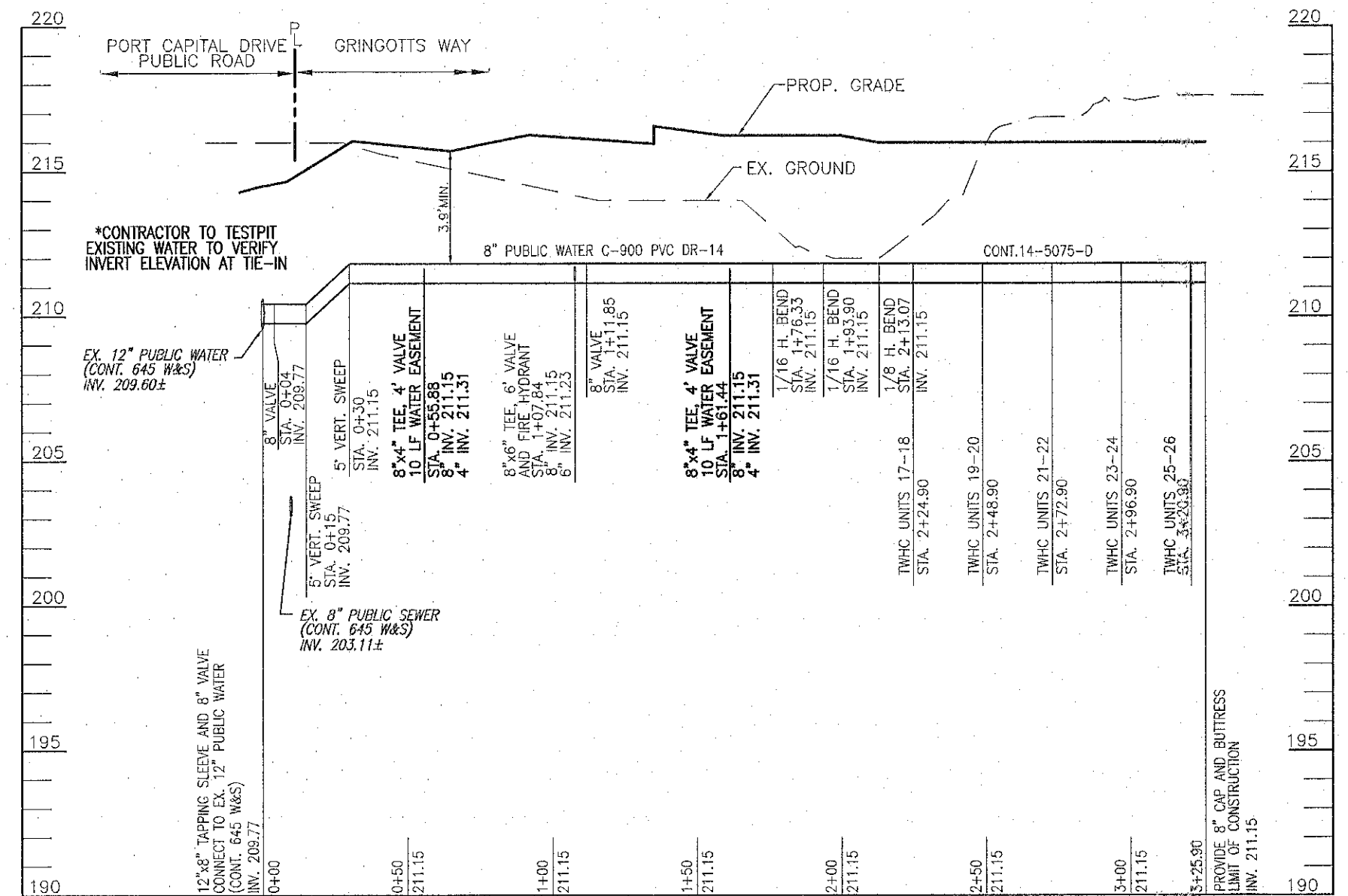
LAYOUT PLAN
SCALE: 1"=50'



PUBLIC SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PUBLIC WATER PROFILE (BUILDING 2)
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PUBLIC WATER PROFILE (WATER MAIN 'A')
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

PUBLIC SEWER - MANHOLE LOCATION CHART						
MH NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
SMH-100	STD. PRECAST MANHOLE (9-5.12)	N 549687.66 E 1374937.88	216.10	205.10	201.54	DROP MANHOLE TYPE 'A'
EX. SMH-3	STD. PRECAST MANHOLE (9-5.12)	N 549673.65 E 1374933.55	216.00	201.24 (2)	201.14	

WATER MAIN LOCATION CHART				
WATER MAIN 'A'				
WL STA.	APPURTENANCE	NORTHING	EASTING	
WL STA. 0+00	CONNECT TO EX. 12" PUBLIC WATER (CONT. 645 W&S)	549932.55	1374805.98	
WL STA. 0+04.00	8" VALVE	549934.19	1374803.93	
WL STA. 0+15.00	5" VERT. SWEEP			
WL STA. 0+30.00	5" VERT. SWEEP			
WL STA. 0+55.88	8"X4" TEE, 4" VALVE	549960.66	1374854.63	
WL STA. 1+07.84	8"X6" TEE, 8" VALVE & FIRE HYDRANT	549981.35	1374902.28	
WL STA. 1+11.85	8" VALVE	549983.52	1374900.70	
WL STA. 1+61.44	8"X4" TEE, 4" VALVE	550003.86	1374950.51	
WL STA. 1+76.33	1/16" H. BEND	550009.97	1374964.51	
WL STA. 1+93.90	1/16" H. BEND	550010.65	1374986.95	
WL STA. 2+13.07	1/8" H. BEND	550005.58	1375000.30	
WL STA. 3+25.90	8" CAP AND BUTTRESS	549902.68	1375046.59	
WATER MAIN TO BUILDING 2				
WL STA.	APPURTENANCE	NORTHING	EASTING	
WL STA. 0+00	CONNECT TO EX. 12" PUBLIC WATER (CONT. 645 W&S)	549903.45	1374884.30	
WL STA. 0+04.00	4" VALVE	549904.47	1374885.53	
WL STA. 0+20.84	4" CAP AND BUTTRESS	549812.03	1374883.20	

NOTES:
1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE
OUTSIDE SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD
COUNTY DETAIL W-3.52 FOR TWIN OUTSIDE METER SETTINGS.

WATER HOUSE CONNECTION AS-BUILT TABLE				
UNIT	STREET ADDRESS		LOCATION DIMENSION 1	LOCATION DIMENSION 2
BUILDING #1				
1	7738-A	PORT CAPITAL DR.		
2	7738-B	PORT CAPITAL DR.		
3	7736-A	PORT CAPITAL DR.		
4	7736-B	PORT CAPITAL DR.		
5	7738-A	PORT CAPITAL DR.		
6	7734-B	PORT CAPITAL DR.		
7	7732-A	PORT CAPITAL DR.		
8	7732-B	PORT CAPITAL DR.		
SPRINKLER ROOM	7730	PORT CAPITAL DR.		
BUILDING #2				
9	7728-A	PORT CAPITAL DR.		
10	7728-B	PORT CAPITAL DR.		
11	7726-A	PORT CAPITAL DR.		
12	7726-B	PORT CAPITAL DR.		
13	7724-A	PORT CAPITAL DR.		
14	7724-B	PORT CAPITAL DR.		
15	7722-A	PORT CAPITAL DR.		
16	7722-B	PORT CAPITAL DR.		
SPRINKLER ROOM	7720	PORT CAPITAL DR.		
BUILDING #3				
SPRINKLER ROOM	7199	GRINGOTT'S WAY		
17	7201-A	GRINGOTT'S WAY		
18	7201-B	GRINGOTT'S WAY		
19	7203-A	GRINGOTT'S WAY		
20	7203-B	GRINGOTT'S WAY		
21	7205-A	GRINGOTT'S WAY		
22	7205-B	GRINGOTT'S WAY		
23	7207-A	GRINGOTT'S WAY		
24	7207-B	GRINGOTT'S WAY		
25	7209-A	GRINGOTT'S WAY		
26	7209-B	GRINGOTT'S WAY		

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND
CHIEF, DEVELOPMENT ENGINEERING DIVISION

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PROFESSIONAL CERTIFICATE
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**FINAL WATER AND SEWER
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CONTRACT 14-5075-D
LAYOUT & PROFILES**

POTTER'S PLACE
(THE OAKS AT WATERS EDGE PHASE III-PARCEL A)
TAX MAP 43 GRID 4
1ST ELECTION DISTRICT
PARCEL 644
HOWARD COUNTY, MARYLAND

SCALE
AS
SHOWN
SHEET
2 OF 2

600' SCALE MAP NO. 43 BLOCK NO. 4